



**TOWN OF LOS GATOS  
PLANNING COMMISSION AGENDA  
SEPTEMBER 09, 2020  
110 EAST MAIN STREET  
LOS GATOS, CA  
7:00 PM**

*Melanie Hanssen, Chair  
Kathryn Janoff, Vice Chair  
Mary Badame, Commissioner  
Jeffrey Barnett, Commissioner  
Kendra Burch, Commissioner  
Matthew Hudes, Commissioner  
Reza Tavana, Commissioner*

**PARTICIPATION IN THE PUBLIC PROCESS**

How to participate: The Town of Los Gatos strongly encourages your active participation in the public process, which is the cornerstone of democracy. If you wish to speak to an item on the agenda, please complete a “speaker’s card” and return it to the Staff Liaison. If you wish to speak to an item NOT on the agenda, you may do so during the “verbal communications” period. The time allocated to speakers may change to better facilitate the Planning Commission meeting.

Effective Proceedings: The purpose of the Planning Commission meeting is to conduct the business of the community in an effective and efficient manner. For the benefit of the community, the Town of Los Gatos asks that you follow the Town’s meeting guidelines while attending Planning Commission meetings and treat everyone with respect and dignity. This is done by following meeting guidelines set forth in State law and in the Town Code. Disruptive conduct is not tolerated, including but not limited to: addressing the Commissioners without first being recognized; interrupting speakers, Commissioners or Town staff; continuing to speak after the allotted time has expired; failing to relinquish the podium when directed to do so; and repetitiously addressing the same subject.

Deadlines for Public Comment and Presentations are as follows:

- Persons wishing to make an audio/visual presentation on any agenda item must submit the presentation electronically, either in person or via email, to the Planning Department by 1 p.m. or the Clerk’s Office no later than 3:00 p.m. on the day of the Planning Commission meeting.
- Persons wishing to submit written comments to be included in the materials provided to the Planning Commission must provide the comments to the Planning Department as follows:
  - For inclusion in the regular packet: by 11:00 a.m. the Friday before the meeting
  - For inclusion in any Addendum: by 11:00 a.m. the Monday before the meeting
  - For inclusion in any Desk Item: by 11:00 a.m. on the day of the meeting

***Planning Commission meetings are broadcast Live on KCAT, Channel 15 (on Comcast) on the 2<sup>nd</sup> and 4<sup>th</sup> Wednesdays at 7:00 p.m.  
Live and Archived Planning Commission meetings can be viewed by going to:  
<https://www.kcat.org/government-meetings>***

***IN COMPLIANCE WITH THE AMERICANS WITH DISABILITIES ACT, IF YOU NEED SPECIAL ASSISTANCE TO PARTICIPATE IN THIS MEETING,  
PLEASE CONTACT THE CLERK DEPARTMENT AT (408) 354-6834. NOTIFICATION 48 HOURS BEFORE THE MEETING WILL ENABLE THE TOWN  
TO MAKE REASONABLE ARRANGEMENTS TO ENSURE ACCESSIBILITY TO THIS MEETING [28 CFR §35.102-35.104]***

## **IMPORTANT NOTICE REGARDING SEPTEMBER 9, 2020 PLANNING COMMISSION MEETING**

This meeting is being conducted utilizing teleconferencing and electronic means consistent with State of California Executive Order N-29-20 dated March 17, 2020, regarding the COVID-19 pandemic. The live stream of the meeting may be viewed on television and/or online at: <https://meetings.municode.com/PublishPage/index?cid=LOSGATOS&ppid=4bc370fb-3064-458e-a11a-78e0c0e5d161&p=0>. **In accordance with Executive Order N-29-20, the public may only view the meeting on television and/or online and not in the Council Chamber.**

### **PARTICIPATION**

If you are not interested in providing oral comments real-time during the meeting, you can view the live stream of the meeting on television (Comcast Channel 15) and/or online at <https://www.youtube.com/channel/UCFh35XRBWer1DPx-F7vvhcg>.

If you are interested in providing oral comments real-time during the meeting, you must join the Zoom webinar at:

<https://losgatosca.gov.zoom.us/j/96262147642?pwd=cE91NDJTYVVZbEtDNm15dFdyRlkyQT09>

Passcode: 584103.

During the meeting:

- When the Chair announces the item for which you wish to speak, click the “raise hand” feature in Zoom. If you are participating by phone on the Zoom app, press \*9 on your telephone keypad to raise your hand. If you are participating by calling in, press #2 on your telephone keypad to raise your hand.
- When called to speak, please limit your comments to three (3) minutes, or such other time as the Chair may decide, consistent with the time limit for speakers at a Council meeting.

If you are unable to participate in real-time, you may send an email to [PlanningComment@losgatosca.gov](mailto:PlanningComment@losgatosca.gov) with the subject line “Public Comment Item # ” (insert the item number relevant to your comment) or “Verbal Communications – Non Agenda Item.” Comments will be reviewed and distributed before the meeting if received by 11:00 a.m. on the day of the meeting. All comments received will become part of the record. The Chair has the option to modify this action on items based on comments received.

### **REMOTE LOCATION PARTICIPANTS**

*The following Planning Commissioners are listed to permit them to appear electronically or telephonically at the Planning Commission meeting: CHAIR MELANIE HANSEN, VICE CHAIR JANOFF, COMMISSIONER BADAME, COMMISSIONER BARNETT, COMMISSIONER BURCH, COMMISSIONER HUDES, AND COMMISSIONER TEVANA. All votes during the teleconferencing session will be conducted by roll call vote.*



## MEETING CALLED TO ORDER

### ROLL CALL

**VERBAL COMMUNICATIONS** *(Members of the public may address the Commission on any matter that is not listed on the agenda. Unless additional time is authorized by the Commission, remarks shall be limited to three minutes.)*

**CONSENT ITEMS (TO BE ACTED UPON BY A SINGLE MOTION)** *(Before the Planning Commission acts on the consent agenda, any member of the public or Commission may request that any item be removed from the consent agenda. At the Chair's discretion, items removed from the consent calendar may be considered either before or after the Public Hearings portion of the agenda)*

1. Approve Planning Commission Minutes of August 26, 2020

**PUBLIC HEARINGS** *(Applicants/Appellants and their representatives may be allotted up to a total of five minutes maximum for opening statements. Members of the public may be allotted up to three minutes to comment on any public hearing item. Applicants/Appellants and their representatives may be allotted up to a total of three minutes maximum for closing statements. Items requested/recommended for continuance are subject to the Commission's consent at the meeting.)*

2. Consider Approval of a Request for Modification to an Existing Architecture and Site Application (S-13-090) to Remove Underground Parking for Construction of a Commercial Building (Market Hall) in the North 40 Specific Plan Area. Located at 14225 Walker Street. APN 424-56-017. Architecture and Site Application S-20-012. Property Owner/Applicant: Summerhill N40, LLC. Project Planner: Jocelyn Shoopman.
3. Requesting Approval for Demolition of an Existing Single-Family Residence and Detached Accessory Dwelling Unit, and Construction of a Two-Story Single-Family Residence on Property Zoned HR-1. APN 527-02-007. Architecture and Site Application S-19-012. Located at 15925 Quail Hill Drive. Applicant: Gary Kohlsaas. Property Owner: John and Allison Diep.
4. Consider a Request for Approval for a Variance from the Town Code to Exceed the Maximum Allowable Sign Area and an Exception from the Commercial Design Guidelines to Exceed the Maximum Letter Height for a Wall Sign (Sephora) on Property Zoned C-2:LHP:PD, Located at 50 University Avenue, Suite B260. APN 529-02-044. Variance Application V-20-001. Property Owner: SRI Old Town LLC. Applicant: Peter Liu.

**OTHER BUSINESS** *(Up to three minutes may be allotted to each speaker on any of the following items.)*

5. Consider formation of a subcommittee regarding objective standards.

**REPORT FROM THE DIRECTOR OF COMMUNITY DEVELOPMENT**

**SUBCOMMITTEE REPORTS / COMMISSION MATTERS**

**ADJOURNMENT** (*Planning Commission policy is to adjourn no later than 11:30 p.m. unless a majority of the Planning Commission votes for an extension of time*)

*Writings related to an item on the Planning Commission meeting agenda distributed to members of the Commission within 72 hours of the meeting are available for public inspection at the reference desk of the Los Gatos Town Library, located at 100 Villa Avenue; the Community Development Department and Clerk Department, both located at 110 E. Main Street; and are also available for review on the official Town of Los Gatos website. Copies of desk items distributed to members of the Commission at the meeting are available for review in the Town Council Chambers.*

*Note: The Town of Los Gatos has adopted the provisions of Code of Civil Procedure §1094.6; litigation challenging a decision of the Town Council must be brought within 90 days after the decision is announced unless a shorter time is required by State or Federal law.*



**TOWN OF LOS GATOS  
PLANNING COMMISSION  
REPORT**

MEETING DATE: 09/09/2020

ITEM NO: 1

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**DRAFT  
MINUTES OF THE PLANNING COMMISSION MEETING  
AUGUST 26, 2020**

The Planning Commission of the Town of Los Gatos conducted a Regular Meeting on Wednesday, August 26, 2020, at 7:00 p.m.

**This meeting was conducted utilizing teleconferencing and electronic means consistent with State of California Executive Order N-29-20 dated March 17, 2020, regarding the COVID19 pandemic and was conducted via Zoom. All planning commissioners and staff participated from remote locations and all voting was conducted via roll call vote.**

**MEETING CALLED TO ORDER AT 7:00 P.M.**

**ROLL CALL**

Present: Chair Melanie Hanssen, Vice Chair Kathryn Janoff , Commissioner Mary Badame, Commissioner Jeffrey Barnett, Commissioner Kendra Burch, Commissioner Matthew Hudes, and Commissioner Reza Tavana

Absent: None.

**VERBAL COMMUNICATIONS**

None.

**CONSENT ITEMS (TO BE ACTED UPON BY A SINGLE MOTION)**

**1. Approval of Minutes – August 12, 2020**

**MOTION:** Motion by Commissioner Hudes to approve adoption of the Consent Calendar. **Seconded** by Commissioner Burch.

**VOTE:** Motion passed unanimously

**PUBLIC HEARINGS**

**2. Amendments to the Town Code Regarding Outdoor Lighting and Modifications to the Residential Design Guidelines**

Town Code Amendment Application A-20-005

Location: Town Wide

Applicant: Town of Los Gatos  
Staff: Jennifer Armer

Forward a Recommendation to the Town Council for Approval of Amendments to Chapter 29 (Zoning Regulations) of the Town Code regarding Outdoor Lighting and modifications to the Residential Design Guidelines.

Jennifer Armer, Senior Planner, presented the staff report.

Opened and closed Public Comment.

Commissioners discussed the matter.

**MOTION:**                   **Motion by Commissioner Badame** to forward to Town Council a recommendation of approval of Amendments to Town Code Chapter 29 regarding Outdoor Lighting and modifications to the Residential Design Guidelines in consideration of the comments by Commissioner Hudes and Commissioner Barnett. **Seconded by Commissioner Barnett.**

**VOTE:**                   **Motion passed unanimously.**

**3. Request for Modification to an existing Architecture and Site Application to Remove Underground Parking for Construction of a Commercial Building in the North Forty Specific Plan**

Architecture and Site Application S-20-012  
APN 424-56-017  
Property Owner/Appt: Summerhill N40, LLC  
Project Planner: Jocelyn Shoopman

Consider approval of a Request for modification to an existing Architecture and Site Application (S-13-090) to remove underground parking for construction of a commercial building (Market Hall) in the North 40 Specific Plan area.

**Commissioner Burch announced that she would recuse herself from the public hearing due to proximity of her home to the subject property.**

Jocelyn Shoopman, Associate Planner, presented the staff report.

Commissioners discussed the matter.

**MOTION:**                    **Motion by Commissioner Hudes** to continue the public hearing to the meeting of September 9, 2020. **Seconded by Commissioner Badame.**

**VOTE:**                    **Motion passed unanimously.**

## **OTHER BUSINESS**

### **REPORT FROM THE DIRECTOR OF COMMUNITY DEVELOPMENT**

Joel Paulson, Director of Community Development

- None.

### **SUBCOMMITTEE REPORTS/COMMISSION MATTERS**

#### **Historic Preservation Committee**

Commissioner Hudes

- The HPC met August 26, 2020 and considered four items:
  - o 445 Los Gatos Boulevard
  - o 411 San Benito Avenue
  - o 32 Walnut Avenue
  - o Final review of the Historic Preservation portion of the General Plan

#### **General Plan Advisory Committee**

Commissioner Hanssen

- The GPAC canceled its August 20, 2020 meeting and rescheduled to September 3, 2020 where the Committee will do a second review of the Mobility Element.

#### **Commission Matters**

Commissioner Hanssen

- It is important when doing the General Plan 20-year update to look for more opportunities to insert objective standards which will benefit everyone because there would no longer be questions of interpretation or opinion. It would be helpful, especially in the area of land use and community design where there is a high need for objective standards, to have a subcommittee that would suggest areas where objective standards would be helpful and possible. The subject of objective standards in the General Plan will be heard at the Planning Commission's September 9, 2020 meeting.

## **ADJOURNMENT**

The meeting adjourned at 7:47 p.m.

This is to certify that the foregoing is a true and correct copy of the minutes of the

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MINUTES OF PLANNING COMMISSION MEETING OF AUGUST 26, 2020

August 26, 2020 meeting as approved by the  
Planning Commission.

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Vicki Blandin





**TOWN OF LOS GATOS  
PLANNING COMMISSION  
REPORT**

MEETING DATE: 09/09/2020

ITEM NO: 2

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**DATE:** September 2, 2020  
**TO:** Planning Commission  
**FROM:** Joel Paulson, Community Development Director  
**SUBJECT:** Consider Approval of a Request for Modification to an Existing Architecture and Site Application (S-13-090) to Remove Underground Parking for Construction of a Commercial Building (Market Hall) in the North 40 Specific Plan Area. Located at 14225 Walker Street. APN 424-56-017. Architecture and Site Application S-20-012. Property Owner/Applicant: Summerhill N40, LLC. Project Planner: Jocelyn Shoopman.

REMARKS:

On August 26, 2020, the Planning Commission continued this item to allow Commissioners to complete a site visit and to allow for additional public comments to be provided. Attachment 10 contains public comments received between 11:01 a.m., Wednesday, August 26, 2020 and 11:00 a.m., Friday, September 4, 2020.

EXHIBITS:

Previously received with August 26, 2020 Staff Report:

1. Location Map
2. Required Findings and Considerations
3. Recommended Conditions of Approval
4. Project Description
5. Letter of Justification
6. Development Plans, received May 18, 2020
7. Public comments received by 11:00 a.m., Friday, August 21, 2020

Previously received with August 26, 2020 Addendum Report:

8. Public comments received between 11:01 a.m., Friday, August 21, 2020 and 11:00 a.m., Tuesday, August 25, 2020.

PREPARED BY: JOCELYN SHOOPMAN  
Associate Planner

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Reviewed by: Planning Manager and Community Development Director

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SUBJECT: 14225 Walker Street/S-20-012

DATE: September 4, 2020

EXHIBITS (continued):

Previously received with August 26, 2020 Desk Item Report:

9. Public comments received between 11:01 a.m., Tuesday, August 25, 2020 and 11:00 a.m., Wednesday, August 26, 2020.

Received with this Staff Report:

10. Public comments received between 11:01 a.m., Wednesday August 26, 2020 and 11:00 a.m., Friday, September 4, 2020

**From:** Sheryl Poulson <sheryl.poulson@gmail.com>  
**Sent:** Friday, September 4, 2020 10:52 AM  
**To:** Planning Comment <PlanningComment@losgatosca.gov>; jpaulson@losgatos.gov  
**Cc:** James Poulson <jrpoulson@gmail.com>  
**Subject:** North 40 parking

Joel, and all at our planning commission, my family and I live in the Highland Oaks neighborhood and like the majority, if not all, of our neighbors are vehemently opposed to the proposed elimination of the underground parking space. This change, if allowed to go through, will very likely force visitors, shoppers & residents to find parking elsewhere ending up creating further degradation to the surrounding communities and businesses. This is so typical of large projects like this in where the developers interests in reducing their cost, post contractual agreements, begin to eliminate promised features. **We must not allow** the elimination of the already minimally planned agreed upon parking or another changes to the plan.

Your concerned citizens,  
James & Sheryl Poulson and family

Please reply.

EXHIBIT 10

**From:** Joan Oloff <[lgfootcntr@aol.com](mailto:lgfootcntr@aol.com)>  
**Sent:** Thursday, September 3, 2020 4:27 PM  
**To:** Eric Christianson <[EChristianson@losgatosca.gov](mailto:EChristianson@losgatosca.gov)>  
**Subject:** 14225 Walker

Hi Eric,

I hope you are doing well during these crazy times!

I am reaching out to you regarding the proposed modification of 14225 Walker St (removal of underground parking).

I apologize, as I could not attend the planning commission meeting.

Eric, this development already under-estimates the parking needs for the development. Allowing them to proceed without building out the parking grade would be a huge problem and greatly impact the surrounding community.

Please help me express my concerns to the appropriate people on the Planning Commission. I am very interested in the outcome of the meeting.

Again, my apologies for not being able to participate on 8/26.

All my best,  
Joan Oloff, D.P.M.,F.A.C.F.A.S.  
[lgfootcntr@aol.com](mailto:lgfootcntr@aol.com)  
408-356-2774

Barbara Dodson

239 Marchmont Drive  
Los Gatos, CA 95032  
September 3, 2020

Dear Members of the Planning Commission:

**SUBJECT: ELIMINATION OF THE UNDERGROUND GARAGE IN THE NORTH FORTY**

I oppose the elimination of the underground parking garage. I think it will result in an insufficient amount of parking, and while looking at the SummerHill proposal I think I've come across the fact that SummerHill's provision of parking for the Transition District A, B, & C, with the elimination of the garage, will be below the Town's required number of parking stalls.

I think that SummerHill's proposal has focused on parking for the Market Hall and argued that without the underground garage SummerHill would still be fulfilling the Town's requirements for parking. However, the Market Hall parking in the garage is just one component of the parking for the entire Transition District A, B & C. With the elimination of the parking garage, SummerHill **will not** meet the Town's requirements for the Transition District A, B & C.

According to Sheet A.11 in SummerHill's proposal, the Town's requirement for parking stalls in the Transition District A, B, & C is 354. With the elimination of the underground garage, SummerHill will be providing only 330 parking spots. The bottom line for me is that we can't approve the SummerHill proposal because it provides 24 fewer parking spots than required by the Town.

I hope I have my numbers correct in the explanatory material below.

*Just as a note: SummerHill has provided inconsistent numbers, making it confusing to figure out exactly what is being proposed. In some places, SummerHill says it's providing 330 spaces for the Transition District A, B, & C; in other places it says it's providing 331.*

*As another example, in the table titled "Market Hall-Parking Requirements," SummerHill gives the required number of parking spaces for the Community Room as 5, but in A.11 the required number of parking spaces for the Community Room is listed as 4. In the table titled "Market Hall-Parking Requirements," SummerHill gives the required number of parking spaces for the Market Hall as 62 as 5, but in A.11 the required number of parking spaces for the "Specialty Market" is listed as 55.*

- 1. SUMMERHILL'S NUMBERS SHOW THAT IT IS NOT PROVIDING THE AMOUNT OF HOUSING THAT THE TOWN REQUIRES FOR THE TRANSITION DISTRICT (Areas A, B, C).**

- **In the adopted Developer's Phase 1 Plan from 2016:** Based on the table titled Transition District Area A, B & C Building Area and Parking Tabulations (Table 3.22, page 58), the required number of parking stalls was 354 for the Transition District Area A, B & C (69 residential stalls/residential guest stalls + 285 commercial stalls). The original developer committed to providing more than that: 458 (389 commercial stalls (total for the specialty market, retail, restaurant/café, bar/tavern, and community room); and 69 residential/residential guest stalls.

TOTAL ADOPTED IN 2016 FOR THE TRANSITION DISTRICT Area A, B & C:  
458 PARKING STALLS

- The SummerHill proposal provides for only 330 parking spaces for the Transition District A, B & C. (See A.11: Transition District Building Area and Parking Tabulations on page 62 in the Agenda Packet. This is SummerHill's revised version of Table 6.22.)
- By eliminating the underground garage, SummerHill would provide 24 fewer parking spaces than required by the Town for the Transition District A, B & C. (354-330=24)
- Both Table 6.22 in the Developer's proposal and Table A.11 in SummerHill's proposal show that the Town requirement for commercial stalls is 285. Table A.11 shows that under SummerHill's proposal, SummerHill would provide only 261 commercial parking stalls.
- Under its proposal, SummerHill would provide 24 fewer than the required number of commercial parking stalls (285-261=24) for the Transition District A, B & C.

**THE MATH using numbers from Sheet A.11**

Town required number of parking spaces for the Transition District A, B & C:  
354

285 **required** commercial spaces + 39 **required** residential stalls +  
30 **required** residential guest stalls = **354 required parking spaces**

Number of total spaces proposed by SummerHill: 330  
261 commercial spaces + 39 residential stalls +  
30 residential guest stalls = 330 provided parking spaces

**OTHER MATH using numbers from Table 6.22 on page 58 of the Developer's Proposal, which is the proposal adopted by the Town**

Parking spaces in the adopted plan in 2016: 458  
Parking spaces SummerHill wants to eliminate: 127  
Number of total spaces proposed by SummerHill  
for the Transition District A, B, & C: 331

**The Summerhill proposal drops the number of total parking spaces for the Transition District A, B & C below the Town's requirement of 354. SummerHill is**



shortchanging the Town by 24 (or 23, depending on which Table you use) parking spaces.

**2. SUMMERHILL SAYS IT IS PROVIDING EXCESS PARKING. HOW DID SUMMERHILL COME UP WITH ITS (I believe, incorrect) NUMBERS? SUMMERHILL APPEARS TO HAVE CONFUSED THE REQUIRED NUMBER OF COMMERCIAL PARKING SPACES WITH THE REQUIRED NUMBER OF TOTAL PARKING SPACES. (See the notes in red in A.11 on the right -- p. 62 in the Agenda Packet.)**

- In the red notes next to the section outlined in red called Retail, SummerHill implies that it will provide a TOTAL OF 330 parking spaces for retail.
- SummerHill does its math to reach 330 *commercial* stalls by including 39 *residential* stalls and 30 *residential* guest stalls.
- SummerHill has a deficit of 24 parking stalls below the requirement of 285 commercial stalls. It does not have 45 extra commercial stalls as is claimed.

Also note on Sheet A.11 that in the column headed "Total. Required Number of Commercial Stalls." SummerHill lists 285. Then, just 2 columns to the right, under "Provided Commercial Stalls," it lists 261. In its own chart, SummerHill clearly shows that there is a deficit of 24 commercial parking stalls.

**3. THE PARKING GARAGE ALREADY HAD AN INSUFFICIENT NUMBER OF PARKING SPACES.** The developer wants to drop the number of parking spaces in the garage from 303 to 176. But there was already a lack of parking in the garage in the adopted plan. Specifically, the parking for the 50-unit senior complex wasn't realistic. The allotment was 1 space per senior unit for a total of 50 spaces-- $\frac{1}{2}$  space for each resident and  $\frac{1}{2}$  space for guests. The developer said most of the seniors wouldn't be able to afford cars. It also assumed each senior unit would have just one resident.

In fact it's possible that each senior unit will have two or even more residents. There may be one or more cars connected to each unit for a possible total of more than 50 cars. This uses up all the unit spaces and then some without accounting for guests. Suppose the residents of the 50 senior units use their 50 parking spots. 126 spaces remain for the Market Hall, Bakery, and Community Room. Let's say 10 seniors and their guests use 30 additional spaces. We're down to 96 spaces. How about employees at the Market Hall and bakery? Let's say they use 20 spaces. We're down to 76 spaces for shoppers and people using the community room. Is this enough???

How about overflow parking from other areas? There will be 71 one-bedroom units with one garage each. Suppose two people live in these units and each person has a car. We now have 71 more cars that will be seeking parking. The garage would be a logical space for these residents to use.

4. **WE NEED AN EXPLANATION FOR WHY THE DEVELOPER THINKS THE NEW PARKING ALLOCATIONS ARE ADEQUATE.** The developer claims to be justifying the new lowered parking allocations using city code and the specific plan. Logic and common sense have clearly not been applied here. For example, the 2,032 square foot bakery has 7 spaces. Is this for employees as well as patrons? Will there be seating within the bakery? If yes, 7 parking spaces are hardly enough. How about the community room? It gets 4 parking spaces for its 2,772 square feet. Obviously more than 5 people can easily attend a meeting in such a space. Where are they supposed to park?
  
5. **PARKING WILL STILL BE NEEDED FOR FUTURE DEVELOPMENT.** The SummerHill proposal states that “The Market Hall was originally designed with a basement level by Grosvenor, with the intent to use the excess parking for future development in Phase II of North 40. With Grosvenor no longer involved in Phase I of the project, SummerHill has no need for parking beyond what is required by Town Code and the specific plan.”

But the need for parking for future development has not changed. There will still be future development and thus still a need for parking.

Sincerely,

Barbara Dodson

**From:** Fremont Bainbridge <[fbainbridge58@gmail.com](mailto:fbainbridge58@gmail.com)>

**Sent:** Tuesday, September 1, 2020 7:03:43 PM

**To:** Joel Paulson <[jpaulson@logatosca.gov](mailto:jpaulson@logatosca.gov)>

**Subject:** North 40 Underground Parking

Joel,

I read on Nextdoor that the developer of the North 40 area wants to eliminate previously agreed upon underground parking. I object to this, both on principle and practically. This is not a trivial change, and I don't think there is any reason to believe that parking requirements are now substantially less originally planned for. I hope this will be rejected.

Sincerely,  
Fremont Bainbridge

Sent from my mobile phone.

**From:** awnalee visalli <[awnaleevisalli@gmail.com](mailto:awnaleevisalli@gmail.com)>  
**Sent:** Monday, August 31, 2020 8:55:50 PM  
**To:** Joel Paulson <[jpaulson@losgatosca.gov](mailto:jpaulson@losgatosca.gov)>  
**Cc:** Planning Comment <[PlanningComment@losgatosca.gov](mailto:PlanningComment@losgatosca.gov)>  
**Subject:** Parking at North 40

I live across Lark from the North 40 and urge you to make sure that MAXIMUM parking is allocated for. Parking is always an issue, especially in such highly populated areas.

Less parking at the North 40 means me and my families health, home and happiness will be affected negatively. Please push for as much parking as possible and MORE.

Thank you,

Awnalee Visalli  
LG resident of 13 years.

**From:** Henry Richards <[hrichards@rxdox.net](mailto:hrichards@rxdox.net)>  
**Sent:** Monday, August 31, 2020 3:11 PM  
**To:** Planning Comment <[PlanningComment@losgatosca.gov](mailto:PlanningComment@losgatosca.gov)>  
**Subject:** Underground Parking at "North 40"

Dear Planning Commission,

I was concerned to learn that the current owner/developer of the "North 40" project will now seek a waiver from the requirement to provide the additional underground parking originally required by the Planning Commission in the permit process.

Although I understand the argument that "plans have changed", that was not a part of the original agreements. This argument is only valid if the original agreement stipulated some sort of "change order" accommodation.

There is already sufficient and reasonable concern regarding the impact on traffic congestion at an already busy corridor and intersection. The costs associated with the underground parking was "built in" to the original "Grosvenor" proposals by which the Planning Commission approved the project. SummerHill would argue that the underground parking requirement was part of the Grosvenor plan and that they shouldn't be responsible to live up to it. This does not reflect customary business practices of mergers and acquisitions in which the buyer (SummerHill) assumes all debts, obligations, and contractual agreements of the seller (Grosvenor). That is to say that costs, profit margins, and liabilities were all accommodated by the original agreement. Hence, "they bought it" and "they own it" including all original requirements... otherwise they should've renegotiated with the Town for a waiver or variance.

They are saying that the additional parking is no longer needed... but, what if it is? I would argue that building for "excess capacity" (when it should not impact the value of the project) far outweighs falling short and letting the rest of us suffer the consequences.

Henry Richards  
Los Gatos Resident

**From:** Philippa Alvis <[philippaalvis@gmail.com](mailto:philippaalvis@gmail.com)>  
**Sent:** Sunday, August 30, 2020 5:40:07 PM  
**To:** Joel Paulson <[jpaulson@losgatosca.gov](mailto:jpaulson@losgatosca.gov)>  
**Subject:** underground parking in North 40

Dear Mr. Paulson

Although I am not a resident of Los Gatos, I do live in the area affected by the North 40 development. I urge you to flatly deny the applicant 's request for elimination of the underground parking. The planned development is totally under allocated for all parking as provided. Since many of us in the area will patronize the commercial sector of this development--bringing tax dollars to Los Gatos-- we need convenient parking that will NOT impact the housing development nor the adjacent local streets. No matter how the current developer howls and cries about his loss of partnership, or any other excuse, as a reason or cause for his request to omit the underground parking, I strongly urge you to deny this request. The North 40 development is bad enough as it is---no need to make it worse by eliminating essential parking !

Philippa and Jack Alvis  
17664 Blanchard Dr.  
Monte Sereno 95030



**From:** Erin Kasenchak <[ekasenchak@yahoo.com](mailto:ekasenchak@yahoo.com)>

**Sent:** Sunday, August 30, 2020 9:02:59 AM

**To:** Joel Paulson <[jpaulson@losgatosca.gov](mailto:jpaulson@losgatosca.gov)>

**Subject:** North 40 parking

Hello - as a long time LG resident who was not pleased with the handling of the North 40 community awareness to begin with, I must adamantly request that the town ensure the developers stick with their commitment to underground parking. As everyone is aware, parking is an issue in downtown LG and will likely be at the North 40 if it's as successful as everyone hopes. Part of that success will depend on whether people want to visit and feel they can easily find parking. Think of Santa rows terrible parking. The need for adequate parking that does not take away from planned open space was agreed to by the developer. Please make them honor that.

Erin Kasenchak

**From:** Lou Albert <[loua@mac.com](mailto:loua@mac.com)>  
**Sent:** Saturday, August 29, 2020 5:28:04 PM  
**To:** Joel Paulson <[jpaulson@losgatosca.gov](mailto:jpaulson@losgatosca.gov)>  
**Subject:** Please deny the N40 parking change petition

Hi Joel

I'm a longtime LG resident and I am urging the planning commission to deny the North 40 developer's petition to eliminate the current slated underground parking garage. This project is already going to bring many unhelpful issues to our town. Having parking spill over and/or create more surface parking once this development is finished is avoidable and not in the best interest of our community.

Thank you

Lou Albert

Sent from my iPhone

**From:** Diane Dreher <[ddreher@scu.edu](mailto:ddreher@scu.edu)>  
**Sent:** Friday, August 28, 2020 4:48:19 PM  
**To:** Joel Paulson <[jpaulson@losgatosca.gov](mailto:jpaulson@losgatosca.gov)>; Laurel Prevetti <[LPrevetti@losgatosca.gov](mailto:LPrevetti@losgatosca.gov)>; Planning <[Planning@losgatosca.gov](mailto:Planning@losgatosca.gov)>  
**Cc:** Diane Dreher <[ddreher@scu.edu](mailto:ddreher@scu.edu)>  
**Subject:** Concern about proposed elimination of 127 parking spaces in North 40

Diane Dreher, Ph.D.  
223 Arroyo Grande Way  
Los Gatos, CA 95032

Dear Planning Commissioners:

**Re: proposed elimination of 127 parking spaces in North 40 underground garage**

I ask you to reject SummerHill's request to eliminate these 127 parking spaces, maintaining the original contractual agreement for the following reasons:

1. **Concern for senior residents.** Earlier Town Council discussions pointed to the lack of adequate parking in the Market Place complex. The original plan was for one-half space per unit, based on the assumption that many low-income seniors would not own cars, and one-half space for guests for a total of 50 spaces devoted to the 71 one-bedroom units of senior housing. The current request to reduce the number of available spaces would cause additional hardship to those seniors with cars who would need ADA accommodation by elevator to accessible parking of their cars in the underground parking garage.
2. **Concern about the math.** The developers also assumed that for the 71 one-bedroom units there would be only one senior resident per unit, when, in fact, there may be quite a few couples in a single unit. It is also possible that there would be one car connected to each unit, using all 50 spaces, leaving no room for guests to park. These guests might include essential caregivers as well as family members.
3. **Concern about the math re: shoppers.** If all 50 resident spaces are used, then guests would need to park in the remaining 126 parking spots planned for the Market Hall, Bakery, and Community Room. Where, then, would the shoppers park? The reduction in parking spaces would likely sabotage the Market Hall, discouraging away potential customers.
4. **Concern about developers keeping their word.** The reduction of parking places seems like a "bait and switch" to me. During the original hearings, the developers sounded reluctant to build the underground parking structure but agreed to 303 spaces for the garage. Now they want to reduce the number to 176. The number of parking spaces was part of the original contractual agreement approved by the Town Council. Any change would be a violation of that contract. Letting the developers arbitrarily change their plans would set a bad precedent, opening the way for further changes by SummerHill that would break their word and betray the interests of the citizens of Los Gatos.

I, therefore, urge the Planning Commission to reject the developer's request to eliminate these 127 parking places in the proposed underground garage.

Sincerely,

Diane Dreher

--

Diane Dreher

Professor of English

Associate Director, Applied Spirituality Institute

<https://www.scu.edu/ic/about/affiliated-works/asi/>

Santa Clara University

500 El Camino Real

Santa Clara CA 95053

(408) 554-4954

[ddreher@scu.edu](mailto:ddreher@scu.edu)

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**Get the Tao of Inner Peace**

**newsletter** <https://www.facebook.com/TaoOfInnerPeace/app/141428856257/>

<http://www.dianedreher.com>

<https://www.northstarpersonalcoaching.com/>

**"Our greatest natural resources are our hearts and minds, together with those of the people around us."**

*The Tao of Personal Leadership*

Check out my blogs:

<http://www.psychologytoday.com/blog/your-personal-renaissance>

<https://blogs.scu.edu/writeherewritenow/>

**From:** Liana Palmer <lianapalm@aol.com>  
**Sent:** Wednesday, August 26, 2020 7:31 PM  
**To:** Jocelyn Shoopman <jshoopman@losgatosca.gov>  
**Subject:** Fwd: North 40 don't scratch below garage parking

Hi again,  
This is  
Liana Palmer  
16345 Los Gatos Blvd, #30  
Los Gatos, CA 95032  
408-455-2582

Please do not let Summerhill off the hook for this parking that in original plan provides spaces for future Phase II. Grovsner developers made this below surface parking and Summerhill just wants to reduce costs despite their stated reasons that are phony.

Thank you, Liana Palmer

**From:** Liana Palmer <lianapalm@aol.com>  
**Sent:** Wednesday, August 26, 2020 7:26 PM  
**To:** Jocelyn Shoopman <jshoopman@losgatosca.gov>  
**Subject:** North 40 don't scratch below garage parking

The justification of SummerHill is weak. It is a **bait and switch**. This lot was intended to provide some parking that would be used by the Phase II structures. Eliminating it would put more parking on the surface of Phase II.



**From:** Suzi Hellwege <[sjhellwege@gmail.com](mailto:sjhellwege@gmail.com)>  
**Sent:** Wednesday, August 26, 2020 5:56:33 PM  
**To:** Joel Paulson <[jpaulson@losgatosca.gov](mailto:jpaulson@losgatosca.gov)>  
**Subject:** north 40 changes

Hello Joel:

I just heard that underground parking for the North 40 project is being removed from builder plans. I live near 85/17 and about a mile away from the project, and feel strongly that the developer should be held to the original plan. Without adequate parking cars may spill out to neighborhoods or impede parking for residents of that project. Also, the traffic impact will be greater if cars have to circle to find parking.

Please register my opinion as a 30+ year resident of Campbell and soon to be resident of Los Gatos.

Thank you,  
Susan Hellwege  
White Oaks Court, Campbell

**From:** Amy Despars <[amydespars@hotmail.com](mailto:amydespars@hotmail.com)>

**Sent:** Wednesday, August 26, 2020 4:17 PM

**To:** Joel Paulson <[jpaulson@losgatosca.gov](mailto:jpaulson@losgatosca.gov)>; Laurel Prevetti <[LPrevetti@losgatosca.gov](mailto:LPrevetti@losgatosca.gov)>; Planning <[Planning@losgatosca.gov](mailto:Planning@losgatosca.gov)>

**Subject:** Fw: Just Say No to the North 40 Developers

To the Los Gatos Town Council

Please do not allow Summerhill to change the final agreement between the Town and Grosvenor/Summerhill. This agreement was also part of the very lengthy deliberations and discussions between Grosvenor, the Planning Committee, Town Council, and the community members throughout the process.

Below is how I understand the original plan to work.

The senior housing only has 25 parking spaces for 50 units. What if a couple has two cars or visitors? The bakery only has 7 required parking spaces. Where do they expect the employees to park along with the customers? The community center has 5-7 parking spaces. Where are all of the people going to the community center, going to park?

It is my understanding that residential units that are part of the North 40 project are being allotted minimal parking spaces and, therefore, this underground parking lot can potentially serve as overflow residential parking when needed.

The 127 spaces of underground parking is needed to provide additional parking for this development. This is much needed parking that will be utilized. It is common sense to follow the plan and put in the underground parking now and have enough spaces for all needs. Los Gatos Blvd. cannot handle more parked cars. The neighborhoods, who fought against this project in the first place, do not want cars from the North 40 in their neighborhoods, including ACE Hardware or Office Depot. These neighborhoods already have too many cars parked on their streets from medical offices, Trader Joe's and pre-Covid Google bus commuters.

The PAMF building on Gateway and Los Gatos Blvd. was originally slated to be mixed use with medical, retail, restaurant. To our disappointment the agreed upon plan at the time got changed thanks to the developers. Please do not let this happen again. Developers do not live in our neighborhoods and are not looking out for the communities best interest. They just want to make money.

**PLEASE DO NOT ALLOW ANY CHANGES TO THE ORIGINAL PLAN.**

Thank you for your time.

Amy Despars

267 Longridge Rd.

Los Gatos, Ca 95032

**From:** Teresa Siguenza <[t62siguenza@gmail.com](mailto:t62siguenza@gmail.com)>  
**Sent:** Wednesday, August 26, 2020 3:54 PM  
**To:** Joel Paulson <[jpaulson@losgatosca.gov](mailto:jpaulson@losgatosca.gov)>  
**Subject:** North 40 disgrace

Hello,

I am a 15 year resident of 118 Highland Oaks Way, Los Gatos, CA 95032. We are on the first cul de sac as you turn off of Lark Avenue. This means that the cars for the North 40 will be parking on our street and along the connecting streets as well. Now, I find out that the developers are changing the parking plan to cut the amount of parking. THIS IS UNACCEPTABLE!

There are 6 houses in our cul de sac. All six houses have older children who are drivers themselves which means that all of these houses have at least 4 cars. There are ONLY 6 spaces of parking on our street. Therefore, if any one of us has guests, they must take one of those 6 street spaces. But, if the North 40 has less parking, then those cars will be taking up our guest spaces. This is not fair!

Our children have never felt safe with the amount of cars that pull in just to turn around (and they go extremely fast) or to circumvent the long line to turn right at Los Gatos Blvd. Cutting parking in the North 40 means more cars to enter Highland Oaks Drive and Highland Oaks Way (and the cul de sacs further down). They won't be looking out for kids! They want the closest space to park with the quickest way to get to their North 40 residence/ shopping.

The developers of the North 40 made a big deal about "owing the owners of the North 40" and "the town already gave the approval to the development in the first place" as an excuse to bring a lawsuit to the town for not going through with the development. So, I think it's only fair to discuss what the developers OWE us, the townspeople, who they want to shop in their shops and buy their houses. Develop the parking structures as was originally planned and do not change it! We could possibly take up a lawsuit to them for going back on their word.

My children MUST stay safe! Adding more cars to our streets because developers want to make more money is NOT keeping my kids safe! The potential for children getting hit in our neighborhood increases 100 fold with every car that is now going to be driving through our streets because of the lack of parking!

Please stop their changes to the parking structures on the North 40 and keep our neighborhood safe. This practice of changing plans is not in good faith and should be sold out as such!

Sincerely,  
Teresa Siguenza  
Los Gatos resident

**From:** Patricia Ernstrom <[pernstrom@me.com](mailto:pernstrom@me.com)>

**Sent:** Wednesday, August 26, 2020 11:58 AM

**To:** Joel Paulson <[jpaulson@losgatosca.gov](mailto:jpaulson@losgatosca.gov)>; Laurel Prevetti <[LPrevetti@losgatosca.gov](mailto:LPrevetti@losgatosca.gov)>; Planning <[Planning@losgatosca.gov](mailto:Planning@losgatosca.gov)>; Council <[Council@losgatosca.gov](mailto:Council@losgatosca.gov)>

**Subject:** North 40 Parking and Lighting

Dear Los Gatos Town Council Members and Town Staff:

It has been brought to my attention that the developer of the North 40 has returned to the Town in an attempt to change the approved plan for underground parking.

While I am still very disappointed in the overall outcome and approved plans for the North 40 related to a host of considerations including density, traffic and impact on existing downtown businesses, the idea that Summerhill is now trying to remove a key element -- the underground parking -- should not be allowed. Even with the parking that is already part of the plan, it may be insufficient.

Please do not allow Summerhill to change the plan regarding the agreed provision of parking.

As an additional note (that I have made before Council previously), Los Gatos and the region are experiencing the many negative effects of LIGHT POLLUTION. I would continue to ask the Council and Staff to be vigilant in ensuring this major project as well as all new construction and projects, take into account and ONLY permit LOW IMPACT LIGHTING. Our night sky is one of Los Gatos' treasures, and slowly but surely, the ability to see stars and enjoy the quietness of the evenings, are now getting overshadowed by blaring "city lights", street lights and exterior residential light schemes.

Thank you for your ongoing commitment to ensuring the TOWN of Los Gatos retains its unique charm. You are the stewards working on the residents behalf, and we are asking for your help.

Warm Regards,

Patricia Ernstrom

**From:** Hua Jiang <[hua@huajiang.org](mailto:hua@huajiang.org)>  
**Sent:** Wednesday, August 26, 2020 11:41 AM  
**To:** Joel Paulson <[jpaulson@losgatosca.gov](mailto:jpaulson@losgatosca.gov)>  
**Subject:** North 40 Underground parking

Dear Mr. Paulson,

My name is Hua Jiang. I am writing to express my opposition to the proposed plan to remove underground parking of the North 40 project. The removal would lead to vehicles circling around already congested LG/Lark intersection, and force overflow traffic to park in adjacent residential areas.

If the underground parking level was not necessary, why would the builder propose it in the first place? Such bait-and-switch strategy deserves a sound defeat. I am respectfully asking the commission to reject the proposal.

Thank you for your consideration.

-Hua Jiang  
Linda Ave, Los Gatos

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**TOWN OF LOS GATOS  
PLANNING COMMISSION  
REPORT**

MEETING DATE: 09/09/2020

ITEM NO: 2

DESK ITEM

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DATE: September 9, 2020  
TO: Planning Commission  
FROM: Joel Paulson, Community Development Director  
SUBJECT: Consider Approval of a Request for Modification to an Existing Architecture and Site Application (S-13-090) to Remove Underground Parking for Construction of a Commercial Building (Market Hall) in the North 40 Specific Plan Area. Located at 14225 Walker Street. APN 424-56-017. Architecture and Site Application S-20-012. Property Owner/Applicant: Summerhill N40, LLC.

REMARKS:

Exhibit 11 includes additional public comments received between 11:01 a.m., Friday, September 4, 2020 and 11:00 a.m., Wednesday, September 9, 2020.

EXHIBITS:

Previously received with August 26, 2020 Staff Report:

1. Location Map
2. Required Findings and Considerations
3. Recommended Conditions of Approval
4. Project Description
5. Letter of Justification
6. Development Plans, received May 18, 2020
7. Public comments received by 11:00 a.m., Friday, August 21, 2020

Previously received with August 26, 2020 Addendum Report:

8. Public Comments received between 11:01 a.m., Friday, August 21, 2020 and 11:00 a.m., Tuesday, August 25, 2020.

Previously received with August 26, 2020 Desk Item Report:

9. Public Comments received between 11:01 a.m., Tuesday, August 25, 2020 and 11:00 a.m., Wednesday, August 26, 2020

PREPARED BY: JOCELYN SHOOPMAN  
Associate Planner

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Reviewed by: Planning Manager and Community Development Director

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PAGE 2 OF 2

SUBJECT: 14225 Walker Street/S-20-012

DATE: September 9, 2020

EXHIBITS (continued):

Previously received with September 9, 2020 Staff Report:

10. Public comments received between 11:01 a.m., Wednesday, August 26, 2020 and 11:00 a.m., Friday, September 4, 2020

Received with this Desk Item Report:

11. Public comments received between 11:01 a.m., Friday, September 4, 2020 and 11:00 a.m., Wednesday, September 9, 2020



From: Robert Gore <[robertgore@aol.com](mailto:robertgore@aol.com)>  
Sent: Tuesday, September 8, 2020 6:09 PM  
To: Planning Comment <[PlanningComment@losgatosca.gov](mailto:PlanningComment@losgatosca.gov)>  
Subject: North 40 underground parking

has anything changed with regard to underground north 40 parking?

Robert Gore  
[robertgore@aol.com](mailto:robertgore@aol.com)

Sent from my iPhone

EXHIBIT 11

From: Kathy Parker <[jandkparker@mindspring.com](mailto:jandkparker@mindspring.com)>  
Sent: Wednesday, September 9, 2020 6:02 AM  
To: Joel Paulson <[jpaulson@losgatosca.gov](mailto:jpaulson@losgatosca.gov)>  
Subject: Re: North 40 Proposed Changes - NO

As long-time residents of Los Gatos my husband and I are emphatically against the proposed elimination of the underground parking garage on the North 40 development. This would lead to the adjacent neighborhoods having to deal with increased parking on their streets, which they can ill-afford, and also increased pedestrian traffic on Lark Ave. and Los Gatos Blvd. as people would have to cross them to get to their cars. It is not fair to the adjacent neighborhoods to make them deal with the increase in car and foot traffic, nor to have them have to deal with the intricacies of permit parking schemes.

The developers agreed to the parking set-up, it is now up to them to adhere to it.

Joseph and Kathy Parker  
Ferris Ave.

**From:** John Kirsten <johnkirs10@gmail.com>  
**Sent:** Wednesday, September 9, 2020 5:29 AM  
**To:** Jocelyn Shoopman <jshoopman@losgatosca.gov>  
**Subject:** North 40 concerns

Hello Joel,

I am writing to you regarding the North 40 development. The LG planning commission has approved the FiNAL plan that includes underground parking. Please do your job and NOT change this. This development is huge and this parking is a crucial part of it. It is unbelievable that the developer is trying to do this, only to protect their bottom line. Please do not cave in to their request. The traffic is going to be next to intolerable when this opens. Please don't make the parking a problem as well.  
From a very concerned Los Gatos resident,

John Kirsten  
16481 Apple Blossom  
Los Gatos

**From:** Andrew Cohen

**Sent:** Monday, September 7, 2020 6:03:29 PM (UTC-08:00) Pacific Time (US & Canada)

**To:** Planning

**Subject:** North 40 Underground Parking

To the LG Town Council and Planning Commission,

I am writing to express my concern with Summerhill's proposal to reduce the total number of underground parking spaces. The elimination of these underground spaces will reduce the total available parking in the complex below the Town's requirement of 354 by approximately 23 to 24 spaces. This will likely result in cars being parked in the surrounding neighborhoods and in the surrounding shopping areas creating more traffic and congestion.

Please make sure the Town and Summerhill execute the project to the original planned number of parking spaces including the number that were planned for underground. Let's do what is best for The new North 40 residents and businesses, surrounding neighborhood and businesses, and Los Gatos.

Best regards,

Andrew Cohen

Longridge Rd, Los Gatos, CA

**From:** [suzy.seandel@gmail.com](mailto:suzy.seandel@gmail.com)

**Sent:** Monday, September 7, 2020 10:55:54 AM (UTC-08:00) Pacific Time (US & Canada)

**To:** Planning; Joel Paulson; Laurel Prevetti

**Subject:** North 40 Parking

I oppose to the elimination of the underground parking garage as it will result in an insufficient amount of parking and below the Town's required number of parking stalls. The Market Hall parking in the garage is just one component of the parking for the entire Transition District A, B & C. With the elimination of the parking garage, SummerHill **will not** meet the Town's requirements.

- 1. THE PARKING GARAGE ALREADY HAD AN INSUFFICIENT NUMBER OF PARKING SPACES.** The developer wants to drop the number of parking spaces in the garage from 303 to 176. But there was already a lack of parking in the garage in the adopted plan. Specifically, the parking for the 50-unit senior complex wasn't realistic. The allotment was 1 space per senior unit for a total of 50 spaces-- $\frac{1}{2}$  space for each resident and  $\frac{1}{2}$  space for guests. The developer said most of the seniors wouldn't be able to afford cars. It also assumed each senior unit would have just one resident.

In fact it's possible that each senior unit will have two or even more residents. There may be one or more cars connected to each unit for a possible total of more than 50 cars. This uses up all the unit spaces and then some.

- 2. PARKING WILL STILL BE NEEDED FOR FUTURE DEVELOPMENT.** The SummerHill proposal states that "The Market Hall was originally designed with a basement level by Grosvenor, with the intent to use the excess parking for future development in Phase II of North 40. With Grosvenor no longer involved in Phase I of the project, SummerHill has no need for parking beyond what is required by Town Code and the specific plan."

But the need for parking for future development has not changed. There will still be future development and thus still a need for parking.

Regards,

Suzy Seandel

**From:** John Despars <[john.j.despars@gmail.com](mailto:john.j.despars@gmail.com)>  
**Sent:** Monday, September 7, 2020 7:28:42 AM  
**To:** Joel Paulson <[jpaulson@losgatosca.gov](mailto:jpaulson@losgatosca.gov)>  
**Subject:** North 40 parking

Los Gatos town-

Please keep the underground parking. We don't need more cars on Los Gatos blvd.

Thank you

Sent from my iPad

**From:** Hua Jiang <[hua@huajiang.org](mailto:hua@huajiang.org)>

**Sent:** Monday, September 7, 2020 1:33:01 AM

**To:** Joel Paulson <[jpaulson@losgatosca.gov](mailto:jpaulson@losgatosca.gov)>; Jocelyn Shoopman <[jshoopman@losgatosca.gov](mailto:jshoopman@losgatosca.gov)>

**Subject:** North 40 Underground Parking

Dear Town Planning Commission Staff,

My name is Hua Jiang. I am writing to express my opposition to the proposed plan to remove underground parking of the North 40 project. The removal would lead to vehicles circling around already congested LG/Lark intersection, and force overflow traffic to park in adjacent residential areas.

If the underground parking level was not necessary, why would the builder(s) propose it in the first place? Such bait-and-switch strategy deserves a sound defeat. I am respectfully asking the Commission to reject the proposal.

Thank you for your consideration.

-Hua Jiang  
Linda Ave, Los Gatos

**From:** Maria Ladle Ristow <[m.ladle.ristow@gmail.com](mailto:m.ladle.ristow@gmail.com)>

**Sent:** Sunday, September 6, 2020 6:26:17 PM

**To:** Planning <[Planning@losgatosca.gov](mailto:Planning@losgatosca.gov)>; Planning Comment <[PlanningComment@losgatosca.gov](mailto:PlanningComment@losgatosca.gov)>

**Subject:** Planning Commission Meeting, 9/6/20; Item #2

Dear Planning Commissioners and Town Staff,

Regarding Item # 2, Consider Approval of a Request for Modification to an Existing Architecture and Site Application to Remove Underground Parking for Construction of a Commercial Building (Market Hall) in the North 40 Specific Plan Area. I was intending to speak at the Planning Commission meeting of 8/26/20, but since the meeting was continued, I will submit those comments in writing.

I encourage you to deny the request. There are very good reasons to retain the planned underground parking. While I don't believe in requiring over-parking anywhere, we know from a land-use point of view that a parking garage can store cars more efficiently than surface parking. The Town of Los Gatos created the North 40 Specific Plan so that the entire 40+ acres would be cohesive and work together, regardless of the fact that there are several different landowners, and the development will occur in phases. Underground parking was requested by a large number of residents as the Specific Plan was formulated. It is unfortunate that the developer that planned the parking garage, is not the one building it, but those 174 extra spaces could possibly offset street parking in the next phase of whatever is built. Whether the next phase is office, a hotel, housing, or anything else the town approves, cars will be a part of it, and they will need storage. And once the Market Hall garage is completed, there will be no going back and digging below-grade parking later. Please stick with the original approval and deny this request to eliminate the underground parking.

Thank you,  
Maria Ristow



**From:** MARY PATTERSON <[mmpmitzi@comcast.net](mailto:mmpmitzi@comcast.net)>

**Sent:** Sunday, September 6, 2020 3:27:16 PM

**To:** Joel Paulson <[jpaulson@losgatosca.gov](mailto:jpaulson@losgatosca.gov)>

**Subject:** North 40 Parking

Mr. Paulson,

Please do not allow a change in the underground parking for the North 40 complex. The development will already be an eyesore that causes additional traffic and we don't need their cars parked all over our streets.

This development was approved and shoved down our throats, so they should have to abide by their contract.

Thank you,  
Mary Patterson  
Los Gatos

From: jan prinzivalli  
Sent: Friday, September 4, 2020 6:10:29 PM (UTC-08:00) Pacific Time (US & Canada)  
To: Planning  
Subject: North Forty

Please do not allow the developers at the North 40 to deviate from the original plan and reduce the number of parking spaces on the site.

Thank you-  
Jan Prinzivalli  
101 Charter Oaks Circle

Sent from my iPhone

From: Rochelle Greenfield <[rbg67@aol.com](mailto:rbg67@aol.com)>  
Sent: Friday, September 4, 2020 1:11 PM  
To: Joel Paulson <[jpaulson@losgatosca.gov](mailto:jpaulson@losgatosca.gov)>  
Subject: North 40

Build the garage as per plans or donate the 4m to the city.

Thank you  
Rochelle Greenfield

Sent from my iPhone

**From:** Bernard Greenfield <[BGreenfield@greenfieldlaw.com](mailto:BGreenfield@greenfieldlaw.com)>  
**Sent:** Friday, September 4, 2020 1:14 PM  
**To:** Joel Paulson <[jpaulson@losgatosca.gov](mailto:jpaulson@losgatosca.gov)>  
**Subject:** North 40

I have lived in Los Gatos for over 40 years. The developer, having compelled the town to allow development, should be required to strictly adhere to the approved plan(s). No deviation- they must build the garage.

Sent from my iPhone  
Bernard Greenfield  
Partner

**Greenfield**

Greenfield LLP  
55 S. Market Street, Suite 1500  
San Jose, CA, 95113  
Office: (408) 995-5600 Ext. 310  
Direct: (408) 212-7737  
[www.greenfieldlaw.com](http://www.greenfieldlaw.com)

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**From:** Sheryl Poulson <[sheryl.poulson@gmail.com](mailto:sheryl.poulson@gmail.com)>

**Sent:** Friday, September 4, 2020 11:30 AM

**To:** Joel Paulson <[jpaulson@losgatosca.gov](mailto:jpaulson@losgatosca.gov)>

**Cc:** James Poulson <[jrpoulson@gmail.com](mailto:jrpoulson@gmail.com)>

**Subject:** North 40 parking

Joel, and all at our planning commission, my family and I live in the Highland Oaks neighborhood and like the majority, if not all, of our neighbors are vehemently opposed to the proposed elimination of the underground parking space. This change, if allowed to go through, will very likely force visitors, shoppers & residents to find parking elsewhere ending up creating further degradation to the surrounding communities and businesses. This is so typical of large projects like this in where the developers interests in reducing their cost, post contractual agreements, begin to eliminate promised features. **We must not allow** the elimination of the already minimally planned agreed upon parking or another changes to the plan.

Your concerned citizens,  
James & Sheryl Poulson and family

Please reply.

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**TOWN OF LOS GATOS  
PLANNING COMMISSION  
REPORT**

MEETING DATE: 09/09/2020

ITEM NO: 3

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DATE: September 4, 2020  
TO: Planning Commission  
FROM: Joel Paulson, Community Development Director  
SUBJECT: Requesting Approval for Demolition of an Existing Single-Family Residence and Detached Accessory Dwelling Unit, and Construction of a Two-Story Single-Family Residence on Property Zoned HR-1. APN 527-02-007. Architecture and Site Application S-19-012. Located at 15925 Quail Hill Drive. Applicant: Gary Kohlsaat. Property Owner: John and Allison Diep.

**BACKGROUND:**

On December 11, 2019, the Planning Commission reviewed this project and continued the matter to a date certain of March 25, 2020 with direction to make significant revisions to the design. The March 25, 2020 hearing was not held, and so the project has been re-noticed.

**DISCUSSION:**

A. Modified Proposal

The revised development plans (Exhibit 25) and color board (Exhibit 24) have been submitted and reflect the significant revisions as described in the applicant's revised project description and justification letter (Exhibit 18). Late in the staff review of these revised development plans an error was discovered in the calculation of the maximum allowed floor area. The applicant has analyzed the plans and determined that by sinking the entire proposed house down by six inches the countable floor area can be adjusted to not exceed the maximum allowed as described in the Supplemental Justification Letter (Exhibit 19). Though the revised development plans in Exhibit 25 do not show this modification, the applicant has also provided a Revised Project Data Table (Exhibit 20) and a Revised Grading Exception Site Plan (Exhibit 21).

The table below shows a summary of the proposed floor area. The maximum allowed above grade floor area for the site is 5,100 square feet. Though the proposed above grade

PREPARED BY: JENNIFER ARMER, AICP  
Senior Planner

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Reviewed by: Planning Manager and Community Development Director

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DISCUSSION (continued):

square footage is still proposed at the maximum allowed as it was in the previously proposed project, the extent of the requested exceptions, including overall height, has been reduced as described below.

Floor Area Summary				
Floor	Above Grade Square Footage	Excluded from Countable Floor Area		Total
		Below-grade Square Footage	Up to 400 Square Footage of Garage	
Upper Floor	2,709	0	0	2,709
Main Floor	2,391	1,247	0	3,638
Lower Floor (Garage)	0	2,258	16	2,274
<b>Total</b>	<b>5,100</b>	<b>3,505</b>	<b>16</b>	<b>8,621</b>

B. Architectural Consultant Review

The Town’s Consulting Architect has reviewed the revised plans and provided a third report (Exhibit 22) with minor revisions recommended. A response from the applicant to the Consulting Architect’s recommendations is included as Exhibit 23 with details of how the concerns will be addressed through landscaping.

C. Exceptions

The exception previously requested for overall height is no longer necessary for the proposed project, as the revised design meets the maximum height limitations. Exceptions are requested in this proposal for retaining walls over five feet tall (up to seven feet in height, where the previous proposal requested up to 10 feet in height) adjacent to the garage, and at the rear of the proposed outdoor patio. Exceptions requested for cut and fill also remain and are shown in the table below and in the Revised Grading Exception Site Plan (Exhibit 21). These exceptions all take into consideration the proposal to lower the floor level by six inches to reduce the total above grade floor area.



DISCUSSION (continued):

Maximum Graded Cuts and Fills – HDS&G						
	Maximum Cut Depths (feet)			Maximum Fill Depths (feet)		
	Allowed	Previous Proposal	Current Proposal	Allowed	Previous Proposal	Current Proposal
House Footprint (areas with no below-grade square footage)*	8*	NA	NA	3	NA	NA
House Footprint (areas with below-grade square footage)	No Limit	29.7	22.8	3	0	0
Driveway	4	<b>9.3</b>	<b>8.5</b>	3	<b>3.4</b>	1.6
Site Work		<b>8.1</b>	<b>8.5</b>	3	1	<b>5.5</b>
* – Excludes below-grade square footage <b>Bold</b> – requires exception to the HDS&G						

CONCLUSION:

A. Summary

The applicant is requesting approval of an Architecture and Site application for demolition of an existing single-family residence and detached ADU and construction of a new single-family residence with exceptions for retaining wall heights and cut and fill depths.

B. Recommendation

Based on the analysis above, staff recommends approval of the Architecture and Site application, based on the revised findings and considerations (Exhibit 17) and with the revised recommended conditions of approval (Exhibit 16). If the Planning Commission finds merit with the proposed project, it should:

- a. Find that the project is Categorically Exempt pursuant to the adopted Guidelines for the Implementation of the California Environmental Quality Act, Section 15303: New Construction or Conversion of Small Structures (Exhibit 17);
- b. Make the findings as required by Section 29.10.09030 (e) of the Town Code for the demolition of an existing structure (Exhibit 17);
- c. Make the findings as required by Section 29.10.330 of the Town Code for the demolition of an existing accessory dwelling unit (Exhibit 17);

CONCLUSION (continued):

- d. Make the required finding that the cut and fill depth, and retaining wall height exception requests are appropriate and the project otherwise complies with the Hillside Development Standards and Guidelines (Exhibit 17);
- e. Make the finding that the project complies with the Hillside Specific Plan (Exhibit 17);
- f. Make the considerations as required by Section 29.20.150 of the Town Code for granting approval of an Architecture and Site application (Exhibit 17); and
- g. Approve Architecture and Site application S-19-012 with the conditions contained in Exhibit 16 and development plans attached as Exhibit 25; or

C. Alternatives

Alternatively, the Commission can:

1. Approve the application with additional and/or modified conditions;
2. Continue the matter to a date certain with specific direction; or
3. Deny the application.

EXHIBITS:

Previously received with December 11, 2019 Staff Report:

1. Location Map
2. Required Findings and Considerations
3. Recommended Conditions of Approval
4. Project Description
5. Materials Board
6. Letter of Justification, dated November 21, 2019
7. Consulting Architect's Report, received March 26, 2019
8. Applicant's Response to Consulting Architect's Report, dated May 22, 2019
9. Applicant's Response to Consulting Architect's Recommendations, dated November 20, 2019
10. Consulting Architect's Second Report, received November 7, 2019
11. Consulting Arborist Report, dated April 18, 2019
12. Applicant's neighbor outreach efforts
13. Public comments received by 11:00 a.m., Friday, December 6, 2019
14. Development Plans

Previously received with December 11, 2019 Addendum Report:

15. Correspondence from the Applicant

PAGE 5 OF 6

SUBJECT: 15925 Quail Hill Drive/S-19-012

DATE: September 4, 2020

Received with this Staff Report:

16. Revised Conditions of Approval
17. Revised Findings and Considerations
18. Revised Project Description and Justification Letter
19. Supplemental Justification Letter
20. Revised Project Data Table
21. Revised Grading Exception Site Plan
22. Consulting Architect's Third Report, received May 14, 2020
23. Applicant's Response to Consulting Architect's Recommendations, dated June 15, 2020
24. Revised Color Board
25. Revised Development Plans

PAGE 6 OF 6

SUBJECT: 15925 Quail Hill Drive/S-19-012

DATE: September 4, 2020

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**PLANNING COMMISSION – September 9, 2020  
CONDITIONS OF APPROVAL**

**15925 Quail Hill Road  
Architecture and Site Application S-19-012**

**Requesting approval for demolition of an existing single-family residence and detached accessory dwelling unit, and construction of a two-story single-family residence on property zoned HR-1. APN 527-02-007.**

**PROPERTY OWNER: John and Allison Diep  
APPLICANT: Gary Kohlsaat.**

TO THE SATISFACTION OF THE DIRECTOR OF COMMUNITY DEVELOPMENT:

*Planning Division*

1. APPROVAL: This application shall be completed in accordance with all of the conditions of approval and in substantial compliance with the approved plans. Any changes or modifications to the approved plans and/or business operation shall be approved by the Community Development Director, DRC or the Planning Commission depending on the scope of the changes.
2. EXPIRATION: The approval will expire two years from the approval date pursuant to Section 29.20.320 of the Town Code, unless the approval has been vested.
3. MAXIMUM FLOOR AREA: The above grade floor area shall be reduced to no more than 5,100 square feet through a lowering of the floor level as described in the supplemental justification letter.
4. EXTERIOR COLOR: The individual exterior materials of the house, including the roof, shall not exceed a light reflectivity value of 30 and shall blend with the natural vegetation.
5. DEED RESTRICTION: Prior to the issuance of a building permit, a deed restriction shall be recorded by the applicant with the Santa Clara County Recorder's Office that requires all exterior materials to be maintained in conformance with the Town's Hillside Development Standards and Guidelines.
6. OUTDOOR LIGHTING: Exterior lighting shall be kept to a minimum and shall be downward directed and shielded fixtures that will not reflect or encroach onto adjacent properties. No flood lights shall be used unless it can be demonstrated that they are needed for safety or security.
7. TREE REMOVAL PERMIT: A Tree Removal Permit shall be obtained for any protected trees to be removed, prior to the issuance of a building or grading permit.
8. EXISTING TREES: All existing trees shown on the plan and trees required to remain or to be planted are specific subjects of approval of this plan and must remain on the site.

EXHIBIT 16

9. TREE FENCING: Protective tree fencing, and other protection measures shall be placed at the drip line of existing trees prior to issuance of demolition and building permits and shall remain through all phases of construction. Include a tree protection plan with the construction plans.
10. TREE STAKING: All newly planted trees shall be double-staked using rubber tree ties.
11. FRONT YARD LANDSCAPE: Prior to issuance of a Certificate of Occupancy the front yard must be landscaped.
12. ARBORIST REQUIREMENTS: The developer shall implement, at their cost, all recommendations identified in the Arborist's report. These recommendations must be incorporated in the building permit plans and completed prior to issuance of a building permit where applicable. A Compliance Memorandum shall be prepared by the applicant and submitted with the building permit application detailing how the recommendations have or will be addressed.
13. WATER EFFICIENCY LANDSCAPE ORDINANCE: The final landscape plan shall meet the requirements of the Town of Los Gatos Water Conservation Ordinance or the State Water Efficient Landscape Ordinance, whichever is more restrictive. Submittal of a Landscape Documentation Package pursuant to WELO is required prior to issuance of a building permit. A review fee based on the current fee schedule adopted by the Town Council is required when working landscape and irrigation plans are submitted for review. A completed WELO Certificate of Completion is required prior to final inspection/certificate of occupancy.
14. STORY POLES: The story poles on the project site shall be removed within 30 days of approval of the Architecture & Site application.
15. TOWN INDEMNITY: Applicants are notified that Town Code Section 1.10.115 requires that any applicant who receives a permit or entitlement from the Town shall defend, indemnify, and hold harmless the Town and its officials in any action brought by a third party to overturn, set aside, or void the permit or entitlement. This requirement is a condition of approval of all such permits and entitlements whether or not expressly set forth in the approval and may be secured to the satisfaction of the Town Attorney.
16. COMPLIANCE MEMORANDUM: A memorandum shall be prepared and submitted with the building plans detailing how the Conditions of Approval will be addressed.

#### *Building Division*

17. PERMITS REQUIRED: A Demolition Permit is required for the demolition of each existing structure. A separate Building Permit is required for the construction of the new single-family residence and attached garage. Other detached structures such as pool houses, accessory dwelling units, pools, or retaining walls will require individual Building Permits.
18. APPLICABLE CODES: The current codes, as amended and adopted by the Town of Los Gatos as of January 1, 2020, are the 2019 California Building Standards Code, California Code of Regulations Title 24, Parts 1-12, including locally adopted Energy Reach Codes.
19. CONDITIONS OF APPROVAL: The Conditions of Approval must be blue lined in full on the cover sheet of the construction plans. A Compliance Memorandum shall be prepared and submitted with the building permit application detailing how the Conditions of Approval will be addressed.

20. BUILDING & SUITE NUMBERS: Submit requests for new building addresses to the Building Division prior to submitting for the building permit application process.
21. SIZE OF PLANS: Submit four sets of construction plans, minimum size 24" x 36", maximum size 30" x 42".
22. REQUIREMENTS FOR COMPLETE DEMOLITION OF STRUCTURE: Obtain a Building Department Demolition Application and a Bay Area Air Quality Management District Application from the Building Department Service Counter. Once the demolition form has been completed, all signatures obtained, and written verification from PG&E that all utilities have been disconnected, return the completed form to the Building Department Service Counter with the Air District's J# Certificate, PG&E verification, and three (3) sets of site plans showing all existing structures, existing utility service lines such as water, sewer, and PG&E. No demolition work shall be done without first obtaining a permit from the Town.
23. SOILS REPORT: A Soils Report, prepared to the satisfaction of the Building Official, containing foundation and retaining wall design recommendations, shall be submitted with the Building Permit Application. This report shall be prepared by a licensed Civil Engineer specializing in soils mechanics.
24. SHORING: Shoring plans and calculations will be required for all excavations which exceed five (5) feet in depth or which remove lateral support from any existing building, adjacent property, or the public right-of-way. Shoring plans and calculations shall be prepared by a California licensed engineer and shall confirm to the Cal/OSHA regulations.
25. FOUNDATION INSPECTIONS: A pad certificate prepared by a licensed civil engineer or land surveyor shall be submitted to the project Building Inspector at foundation inspection. This certificate shall certify compliance with the recommendations as specified in the Soils Report, and that the building pad elevations and on-site retaining wall locations and elevations have been prepared according to the approved plans. Horizontal and vertical controls shall be set and certified by a licensed surveyor or registered Civil Engineer for the following items:
  - a. Building pad elevation
  - b. Finish floor elevation
  - c. Foundation corner locations
  - d. Retaining wall(s) locations and elevations
26. TITLE 24 ENERGY COMPLIANCE: All required California Title 24 Energy Compliance Forms must be blue-lined (sticky-backed), i.e. directly printed, onto a plan sheet.
27. TOWN RESIDENTIAL ACCESSIBILITY STANDARDS: New residential units shall be designed with adaptability features for single-family residences per Town Resolution 1994-61:
  - a. Wood backing (2" x 8" minimum) shall be provided in all bathroom walls, at water closets, showers, and bathtubs, located 34 inches from the floor to the center of the backing, suitable for the installation of grab bars if needed in the future.
  - b. All passage doors shall be at least 32-inch wide doors on the accessible floor level.
  - c. The primary entrance door shall be a 36-inch-wide door including a 5'x 5' level landing, no more than 1 inch out of plane with the immediate interior floor level and with an 18-inch clearance at interior strike edge.
  - d. A door buzzer, bell or chime shall be hard wired at primary entrance.

28. BACKWATER VALVE: The scope of this project may require the installation of a sanitary sewer backwater valve per Town Ordinance 6.50.025. Please provide information on the plans if a backwater valve is required and the location of the installation. The Town of Los Gatos Ordinance and West Valley Sanitation District (WVSD) requires backwater valves on drainage piping serving fixtures that have flood level rims less than 12 inches above the elevation of the next upstream manhole.
29. HAZARDOUS FIRE ZONE: All projects in the Town of Los Gatos require Class A roof assemblies.
30. WILDLAND-URBAN INTERFACE: This project is located in a Wildland-Urban Interface High Fire Area and must comply with Section R337 of the 2019 California Residential Code, Public Resources Code 4291 and California Government Code Section 51182.
31. PROVIDE DEFENSIBLE SPACE/FIRE BREAK LANDSCAPING PLAN: Prepared by a California licensed Landscape Architect in conformance with California Public Resources Code 4291 and California Government Code Section 51182.
32. PRIOR TO FINAL INSPECTION: Provide a letter from a California licensed Landscape Architect certifying the landscaping and vegetation clearance requirements have been completed per the California Public Resources Code 4291 and Government Code Section 51182.
33. SPECIAL INSPECTIONS: When a special inspection is required by CBC Section 1704, the Architect or Engineer of Record shall prepare an inspection program that shall be submitted to the Building Official for approval prior to issuance of the Building Permit. The Town Special Inspection form must be completely filled-out and signed by all requested parties prior to permit issuance. Special Inspection forms are available from the Building Division Service Counter or online at [www.losgatosca.gov/building](http://www.losgatosca.gov/building).
34. BLUEPRINT FOR A CLEAN BAY SHEET: The Town standard Santa Clara Valley Nonpoint Source Pollution Control Program Sheet (page size same as submitted drawings) shall be part of the plan submittal as the second page. The specification sheet is available at the Building Division Service Counter for a fee of \$2 or at ARC Blueprint for a fee or online at [www.losgatosca.gov/building](http://www.losgatosca.gov/building).
35. APPROVALS REQUIRED: The project requires the following departments and agencies approval before issuing a building permit:
  - a. Community Development – Planning Division: (408) 354-6874
  - b. Engineering/Parks & Public Works Department: (408) 399-5771
  - c. Santa Clara County Fire Department: (408) 378-4010
  - d. West Valley Sanitation District: (408) 378-2407
  - e. Local School District: The Town will forward the paperwork to the appropriate school district(s) for processing. A copy of the paid receipt is required prior to permit issuance.

TO THE SATISFACTION OF THE DIRECTOR OF PARKS & PUBLIC WORKS:

*Engineering Division*

36. GENERAL: All public improvements shall be made according to the latest adopted Town Standard Plans, Standard Specifications and Engineering Design Standards. All work shall



conform to the applicable Town ordinances. The adjacent public right-of-way shall be kept clear of all job-related mud, silt, concrete, dirt and other construction debris at the end of the day. Dirt and debris shall not be washed into storm drainage facilities. The storing of goods and materials on the sidewalk and/or the street will not be allowed unless an encroachment permit is issued by the Engineering Division of the Parks and Public Works Department. The Owner and/or Applicant's representative in charge shall be at the job site during all working hours. Failure to maintain the public right-of-way according to this condition may result in the issuance of correction notices, citations, or stop work orders and the Town performing the required maintenance at the Owner and/or Applicant's expense.

37. APPROVAL: This application shall be completed in accordance with all the conditions of approval listed below and in substantial compliance with the latest reviewed and approved development plans. Any changes or modifications to the approved plans or conditions of approvals shall be approved by the Town Engineer.
38. CONSTRUCTION PLAN REQUIREMENTS: Construction drawings shall comply with Section 1 (Construction Plan Requirements) of the Town's Engineering Design Standards, which are [available for download from the Town's website](#).
39. ENCROACHMENT PERMIT: All work in the public right-of-way will require a Construction Encroachment Permit. All work over \$5,000 will require construction security. It is the responsibility of the Owner and/or Applicant to obtain any necessary encroachment permits from affected agencies and private parties, including but not limited to, Pacific Gas and Electric (PG&E), AT&T, Comcast, Santa Clara Valley Water District, California Department of Transportation (Caltrans). Copies of any approvals or permits must be submitted to the Town Engineering Division of the Parks and Public Works Department prior to releasing any permit.
40. PRIVATE IMPROVEMENTS IN THE PUBLIC RIGHT-OF-WAY (INDEMNITY AGREEMENT): The property owner shall enter into an agreement with the Town for all existing and proposed private improvements within the Town's right-of-way. The Owner shall be solely responsible for maintaining the improvements in a good and safe condition at all times and shall indemnify the Town of Los Gatos. The agreement must be completed and accepted by the Director of Parks and Public Works, and subsequently recorded by the Town Clerk at the Santa Clara County Office of the Clerk-Recorder, prior to the issuance of any grading or building permits. Please note that this process may take approximately six to eight (6-8) weeks.
41. PUBLIC WORKS INSPECTIONS: The Owner and/or Applicant or their representative shall notify the Engineering Inspector at least twenty-four (24) hours before starting any work pertaining to on-site drainage facilities, grading or paving, and all work in the Town's right-of-way. Failure to do so will result in penalties and rejection of any work that occurred without inspection.
42. RESTORATION OF PUBLIC IMPROVEMENTS: The Owner and/or Applicant or their representative shall repair or replace all existing improvements not designated for removal that are damaged or removed because of the Owner and/or Applicant or their representative's operations. Improvements such as, but not limited to: curbs, gutters, sidewalks, driveways, signs, pavements, raised pavement markers, thermoplastic

pavement markings, etc., shall be repaired and replaced to a condition equal to or better than the original condition. Any new concrete shall be free of stamps, logos, names, graffiti, etc. Any concrete identified that is displaying a stamp or equal shall be removed and replaced at the Contractor's sole expense and no additional compensation shall be allowed therefore. Existing improvement to be repaired or replaced shall be at the direction of the Engineering Construction Inspector and shall comply with all Title 24 Disabled Access provisions. The restoration of all improvements identified by the Engineering Construction Inspector shall be completed before the issuance of a certificate of occupancy. The Owner and/or Applicant or their representative shall request a walk-through with the Engineering Construction Inspector before the start of construction to verify existing conditions.

43. SITE SUPERVISION: The General Contractor shall provide qualified supervision on the job site at all times during construction.
44. STREET CLOSURE: Any proposed blockage or partial closure of the street requires an encroachment permit. Special provisions such as limitations on works hours, protective enclosures, or other means to facilitate public access in a safe manner may be required.
45. PLAN CHECK FEES: Plan check fees associated with the Grading Permit shall be deposited with the Engineering Division of the Parks and Public Works Department prior to the commencement of plan check review.
46. GRADING PERMIT FEES: All fees associated with the grading permit shall be deposited with the Engineering Division of the Parks and Public Works Department prior to the issuance of a grading permit.
47. DESIGN CHANGES: Any proposed changes to the approved plans shall be subject to the approval of the Town prior to the commencement of any and all altered work. The Owner and/or Applicant's project engineer shall notify, in writing, the Town Engineer at least seventy-two (72) hours in advance of all the proposed changes. Any approved changes shall be incorporated into the final "as-built" plans.
48. PLANS AND STUDIES: Any studies imposed by the Planning Commission or Town Council shall be funded by the Owner and/or Applicant. Grading permit plans shall be prepared by a Registered Professional Engineer in the State of California and submitted to the Town Engineer for review and approval.
49. GRADING PERMIT: A grading permit is required for all site grading and drainage work except for exemptions listed in Section 12.20.015 of The Code of the Town of Los Gatos (Grading Ordinance). After the preceding Architecture and Site Application has been approved by the respective deciding body, the grading permit application (with grading plans and associated required materials and plan check fees) shall be made to the Engineering Division of the Parks and Public Works Department located at 41 Miles Avenue. The grading plans shall include final grading, drainage, retaining wall location(s), driveway, utilities and interim erosion control. Grading plans shall list earthwork quantities and a table of existing and proposed impervious areas. Unless specifically allowed by the Director of Parks and Public Works, the grading permit will be issued concurrently with the building permit. The grading permit is for work outside the building footprint(s). Prior to Engineering signing off and closing out on the issued grading permit, the Owner and/or Applicant's soils engineer shall verify, with a stamped and signed letter, that the grading

activities were completed per plans and per the requirements as noted in the soils report. A separate building permit, issued by the Building Department, located at 110 E. Main Street, is needed for grading within the building footprint.

50. GRADING ACTIVITY RESTRICTIONS: Upon receipt of a grading permit, any and all grading activities and operations shall not commence until after/occur during the rainy season, as defined by Town Code of the Town of Los Gatos, Sec. 12.10.020, (October 15-April 15), has ended.
51. COMPLIANCE WITH HILLSIDE DEVELOPMENT STANDARDS AND GUIDELINES: All grading activities and operations shall be in compliance with Section III of the Town's Hillside Development Standards and Guidelines. All development shall be in compliance with Section II of the Town's Hillside Development Standards and Guidelines.
52. DRIVEWAY: The driveway conform to existing pavement on Drysdale Drive shall be constructed in a manner such that the existing drainage patterns will not be obstructed.
53. DRAINAGE IMPROVEMENT: Prior to the issuance of any grading or building permits, the Owner and/or Applicant shall: a) design provisions for surface drainage; and b) design all necessary storm drain facilities extending to a satisfactory point of disposal for the proper control and disposal of storm runoff; and c) provide a recorded copy of any required easements to the Town.
54. SURVEYING CONTROLS: Horizontal and vertical controls shall be set and certified by a licensed surveyor or registered civil engineer qualified to practice land surveying, for the following items:
  - a. Retaining wall: top of wall elevations and locations.
  - b. Toe and top of cut and fill slopes.
55. PRECONSTRUCTION MEETING: Prior to the commencement of any site work, the general contractor shall:
  - a. Along with the Owner and/or Applicant, attend a pre-construction meeting with the Town Engineer to discuss the project conditions of approval, working hours, site maintenance and other construction matters;
  - b. Acknowledge in writing that they have read and understand the project conditions of approval and will make certain that all project sub-contractors have read and understand them as well prior to commencing any work, and that a copy of the project conditions of approval will be posted on-site at all times during construction.
56. RETAINING WALLS: A building permit, issued by the Building Division, located at 110 E. Main Street, may be required for site retaining walls. Walls are not reviewed or approved by the Engineering Division of Parks and Public Works during the grading permit plan review process.
57. DEDICATIONS: The following shall be dedicated by separate instrument. The dedication shall be recorded before any grading or building permits are issued:
  - a. Landscape Easement as delineated on sheets C.4 through C.6 on the plans prepared by Hanna-Brunetti.
  - b. Wire Crossing Easement: 10 feet wide, centered along the line between the existing utility poles situated along the subject property's eastern boundary and located on the neighboring property to the west, granted by the property owners to their neighbor.

58. SOILS REVIEW: Prior to Town approval of a development application, the Owner and/or Applicant's engineers shall prepare and submit a design-level geotechnical and geological investigation for review by the Town's consultant, with costs borne by the Owner and/or Applicant, and subsequent approval by the Town. The Owner and/or Applicant's soils engineer shall review the final grading and drainage plans to ensure that designs for foundations, retaining walls, site grading, and site drainage are in accordance with their recommendations and the peer review comments. Approval of the Owner and/or Applicant's soils engineer shall then be conveyed to the Town either by submitting a Plan Review Letter prior to issuance of grading or building permit(s).
59. SOILS ENGINEER CONSTRUCTION OBSERVATION: During construction, all excavations and grading shall be inspected by the Owner and/or Applicant's soils engineer prior to placement of concrete and/or backfill so they can verify that the actual conditions are as anticipated in the design-level geotechnical report and recommend appropriate changes in the recommendations contained in the report, if necessary. The results of the construction observation and testing shall be documented in an "as-built" letter/report prepared by the Owner and/or Applicant's soils engineer and submitted to the Town before a certificate of occupancy is granted.
60. SOIL RECOMMENDATIONS: The project shall incorporate the geotechnical/geological recommendations contained in the Updated Geotechnical & Geological Investigation for Proposed New Residence by Pollak Engineering, Inc., dated September 13, 2019, and any subsequently required report or addendum. Subsequent reports or addendum are subject to peer review by the Town's consultant and costs shall be borne by the Owner and/or Applicant.
61. PUBLIC IMPROVEMENTS: The following improvements shall be installed by the Owner and/or Applicant. Plans for those improvements shall be prepared by a California registered civil engineer, reviewed and approved by the Town before the issuance of any grading or building permits or the recordation of a map. The improvements must be completed and accepted by the Town before a Certificate of Occupancy for any new building can be issued.
  - a. Drysdale Drive: 2" overlay from the centerline to the western lip of gutter, or alternative pavement restoration measure as approved by the Town Engineer.
  - b. Shady Lane: 2" overlay from the centerline to the southern lip of gutter/edge of pavement, or alternative pavement restoration measure as approved by the Town Engineer.
62. CERTIFICATE OF OCCUPANCY: The Engineering Division of the Parks and Public Works Department will not sign off on a Temporary Certificate of Occupancy or a Final Certificate of Occupancy until all required improvements within the Town's right-of-way have been completed and approved by the Town.
63. FRONTAGE IMPROVEMENTS: The Owner and/or Applicant shall be required to improve the project's public frontage (right-of-way line to centerline and/or to limits per the direction of the Town Engineer) to current Town Standards. These improvements may include but not limited to curb, gutter, sidewalk, driveway approach(es), curb ramp(s), signs, pavement, raised pavement markers, thermoplastic pavement markings, storm drain

facilities, etc. The improvements must be completed and accepted by the Town before a Certificate of Occupancy for any new building can be issued.

64. UTILITIES: The Owner and/or Applicant shall install all new, relocated, or temporarily removed utility services, including telephone, electric power and all other communications lines underground, as required by Town Code Section 27.50.015(b). All new utility services shall be placed underground. Underground conduit shall be provided for cable television service. The Owner and/or Applicant is required to obtain approval of all proposed utility alignments from any and all utility service providers before a Certificate of Occupancy for any new building can be issued. The Town of Los Gatos does not approve or imply approval for final alignment or design of these facilities.
65. CURB AND GUTTER REPAIR: The Owner and/or Applicant shall repair and replace to existing Town standards any curb and gutter damaged now or during construction of this project. All new and existing adjacent infrastructure must meet Town standards. New curb and gutter shall be constructed per Town Standard Details. New concrete shall be free of stamps, logos, names, graffiti, etc. Any concrete identified that is displaying a stamp or equal shall be removed and replaced at the Contractor's sole expense and no additional compensation shall be allowed therefore. The limits of curb and gutter repair will be determined by the Engineering Construction Inspector during the construction phase of the project. The improvements must be completed and accepted by the Town before a Certificate of Occupancy for any new building can be issued.
66. DRIVEWAY APPROACH: The Owner and/or Applicant shall install one (1) Town standard residential driveway approach. The new driveway approach shall be constructed per Town Standard Plans and must be completed and accepted by the Town before a Certificate of Occupancy for any new building can be issued. New concrete shall be free of stamps, logos, names, graffiti, etc. Any concrete identified that is displaying a stamp or equal shall be removed and replaced at the Contractor's sole expense and no additional compensation shall be allowed therefore.
67. CONSTRUCTION VEHICLE PARKING: No construction vehicles, trucks, equipment and worker vehicles shall be allowed to park on the portion of any public (Town) streets without written approval from the Town Engineer.
68. CONSTRUCTION TRAFFIC CONTROL: All construction traffic and related vehicular routes, traffic control plan, and applicable pedestrian or traffic detour plans shall be submitted for review and approval by the Town Engineer prior to the issuance of an encroachment, grading or building permit.
69. HAULING OF SOIL: Hauling of soil on- or off-site shall not occur during the morning or evening peak periods (between 7:00 a.m. and 9:00 a.m. and between 4:00 p.m. and 6:00 p.m.), and at other times as specified by the Director of Parks and Public Works. Prior to the issuance of a grading or building permit, the Owner and/or Applicant or their representative shall work with the Town Building Department and Engineering Division Inspectors to devise a traffic control plan to ensure safe and efficient traffic flow under periods when soil is hauled on or off the project site. This may include, but is not limited to provisions for the Owner and/or Applicant to place construction notification signs noting the dates and time of construction and hauling activities, or providing additional traffic

control. Coordination with other significant projects in the area may also be required.  
Cover all trucks hauling soil, sand and other loose debris.

70. CONSTRUCTION HOURS: All construction activities, including the delivery of construction materials, labors, heavy equipment, supplies, etc., shall be limited to the hours of 8:00 a.m. to 6:00 p.m., weekdays and 9:00 a.m. to 4:00 p.m. Saturdays, holidays excluded. The Town may authorize, on a case-by-case basis, alternate construction hours. The Owner and/or Applicant shall provide written notice twenty-four (24) hours in advance of modified construction hours. Approval of this request is at discretion of the Town.
71. CONSTRUCTION NOISE: Between the hours of 8:00 a.m. to 8:00 p.m., weekdays and 9:00 a.m. to 7:00 p.m. weekends and holidays, construction, alteration or repair activities shall be allowed. No individual piece of equipment shall produce a noise level exceeding eighty-five (85) dBA at twenty-five (25) feet from the source. If the device is located within a structure on the property, the measurement shall be made at distances as close to twenty-five (25) feet from the device as possible. The noise level at any point outside of the property plane shall not exceed eighty-five (85) dBA.
72. CONSTRUCTION MANAGEMENT PLAN SHEET: Prior to the issuance of any grading or building permits, the Owner and/or Applicant's design consultant shall submit a construction management plan sheet (full-size) within the plan set that shall incorporate at a minimum the Earth Movement Plan, Project Schedule, employee parking, construction staging area, materials storage area(s), construction trailer(s), concrete washout(s) and proposed outhouse location(s). Please refer to the Town's [Construction Management Plan Guidelines](#) document for additional information.
73. WVSD (West Valley Sanitation District): A Sanitary Sewer Clean-out is required for each property at the property line, within one (1) foot of the property line per West Valley Sanitation District Standard Drawing 3, or at a location specified by the Town.
74. SANITARY SEWER BACKWATER VALVE: Drainage piping serving fixtures which have flood level rims less than twelve (12) inches (304.8 mm) above the elevation of the next upstream manhole and/or flushing inlet cover at the public or private sewer system serving such drainage piping shall be protected from backflow of sewage by installing an approved type backwater valve. Fixtures above such elevation shall not discharge through the backwater valve, unless first approved by the Building Official. The Town shall not incur any liability or responsibility for damage resulting from a sewer overflow where the property owner or other person has failed to install a backwater valve as defined in the Uniform Plumbing Code adopted by the Town and maintain such device in a functional operation condition. Evidence of West Sanitation District's decision on whether a backwater device is needed shall be provided prior to the issuance of a building permit.
75. BEST MANAGEMENT PRACTICES (BMPs): The Owner, Applicant and/or Developer is responsible for ensuring that all contractors are aware of all storm water quality measures and that such measures are implemented. Best Management Practices (BMPs) shall be maintained and be placed for all areas that have been graded or disturbed and for all material, equipment and/or operations that need protection. Removal of BMPs (temporary removal during construction activities) shall be replaced at the end of each working day. Failure to comply with the construction BMP will result in the issuance of correction notices, citations, or stop work orders.

76. SITE DESIGN MEASURES: All projects shall incorporate at least one of the following measures:
- a. Protect sensitive areas and minimize changes to the natural topography.
  - b. Minimize impervious surface areas.
  - c. Direct roof downspouts to vegetated areas.
  - d. Use porous or pervious pavement surfaces on the driveway, at a minimum.
  - e. Use landscaping to treat stormwater.
77. EROSION CONTROL: Interim and final erosion control plans shall be prepared and submitted to the Engineering Division of the Parks and Public Works Department. A maximum of two (2) weeks is allowed between clearing of an area and stabilizing/building on an area if grading is allowed during the rainy season. Interim erosion control measures, to be carried out during construction and before installation of the final landscaping, shall be included. Interim erosion control method shall include, but are not limited to: silt fences, fiber rolls (with locations and details), erosion control blankets, Town standard seeding specification, filter berms, check dams, retention basins, etc. Provide erosion control measures as needed to protect downstream water quality during winter months. The Town of Los Gatos Engineering Division of the Parks and Public Works Department and the Building Department will conduct periodic NPDES inspections of the site throughout the recognized storm season to verify compliance with the Construction General Permit and Stormwater ordinances and regulations.
78. DUST CONTROL: Blowing dust shall be reduced by timing construction activities so that paving and building construction begin as soon as possible after completion of grading, and by landscaping disturbed soils as soon as possible. Further, water trucks shall be present and in use at the construction site. All portions of the site subject to blowing dust shall be watered as often as deemed necessary by the Town, or a minimum of three (3) times daily, or apply (non-toxic) soil stabilizers on all unpaved access roads, parking areas, and staging areas at construction sites in order to insure proper control of blowing dust for the duration of the project. Watering on public streets shall not occur. Streets shall be cleaned by street sweepers or by hand as often as deemed necessary by the Town Engineer, or at least once a day. Watering associated with on-site construction activity shall take place between the hours of 8 a.m. and 5 p.m. and shall include at least one (1) late-afternoon watering to minimize the effects of blowing dust. All public streets soiled or littered due to this construction activity shall be cleaned and swept on a daily basis during the workweek to the satisfaction of the Town. Demolition or earthwork activities shall be halted when wind speeds (instantaneous gusts) exceed twenty (20) miles per hour (MPH). All trucks hauling soil, sand, or other loose debris shall be covered.
79. AIR QUALITY: To limit the project's construction-related dust and criteria pollutant emissions, the following the Bay Area Air Quality Management District (BAAQMD)-recommended basic construction measures shall be included in the project's grading plan, building plans, and contract specifications:
- a. All exposed surfaces (e.g., parking areas, staging areas, soil piles, graded areas, and unpaved access roads) shall be watered two times per day, or otherwise kept dust-free.

- b. All haul trucks designated for removal of excavated soil and demolition debris from site shall be staged off-site until materials are ready for immediate loading and removal from site.
  - c. All haul trucks transporting soil, sand, debris, or other loose material off-site shall be covered.
  - d. As practicable, all haul trucks and other large construction equipment shall be staged in areas away from the adjacent residential homes.
  - e. All visible mud or dirt track-out onto adjacent public roads shall be removed using wet power vacuum street sweepers at least once per day, or as deemed appropriate by Town Engineer. The use of dry power sweeping is prohibited. An on-site track-out control device is also recommended to minimize mud and dirt-track-out onto adjacent public roads.
  - f. All vehicle speeds on unpaved surfaces shall be limited to fifteen (15) miles per hour.
  - g. All driveways and sidewalks to be paved shall be completed as soon as possible. Building pads shall be laid as soon as possible after grading unless seeding or soil binders are used.
  - h. Post a publicly visible sign with the telephone number and person to contact at the lead agency regarding dust complaints. This person shall respond and take corrective action within forty-eight (48) hours. The Air District's phone number shall also be visible to ensure compliance with applicable regulations.
  - i. All excavation, grading, and/or demolition activities shall be suspended when average wind speeds exceed twenty (20) miles per hour.
  - j. Vegetative ground cover (e.g., fast-germinating native grass seed) shall be planted in disturbed areas as soon as possible and watered appropriately until vegetation is established.
80. CONSTRUCTION ACTIVITIES: All construction shall conform to the latest requirements of the CASQA Stormwater Best Management Practices Handbooks for Construction Activities and New Development and Redevelopment, the Town's grading and erosion control ordinance, and other generally accepted engineering practices for erosion control as required by the Town Engineer when undertaking construction activities.
81. SITE DRAINAGE: Rainwater leaders shall be discharged to splash blocks. No through curb drains will be allowed. On-site drainage systems for all projects shall include one of the alternatives included in section C.3.i of the Municipal Regional NPDES Permit. These include storm water reuse via cisterns or rain barrels, directing runoff from impervious surfaces to vegetated areas and use of permeable surfaces. No improvements shall obstruct or divert runoff to the detriment of an adjacent, downstream or down slope property.
82. SILT AND MUD IN PUBLIC RIGHT-OF-WAY: It is the responsibility of Contractor and homeowner to make sure that all dirt tracked into the public right-of-way is cleaned up on a daily basis. Mud, silt, concrete and other construction debris SHALL NOT be washed into the Town's storm drains.
83. GOOD HOUSEKEEPING: Good housekeeping practices shall be observed at all times during the course of construction. All construction shall be diligently supervised by a person or persons authorized to do so at all times during working hours. The Owner and/or



Applicant's representative in charge shall be at the job site during all working hours. Failure to maintain the public right-of-way according to this condition may result in penalties and/or the Town performing the required maintenance at the Owner and/or Applicant's expense.

84. PERMIT ISSUANCE: Permits for each phase; reclamation, landscape, and grading, shall be issued simultaneously.
85. COVERED TRUCKS: All trucks transporting materials to and from the site shall be covered.

TO THE SATISFACTION OF THE SANTA CLARA COUNTY FIRE DEPARTMENT:

86. FIRE SPRINKLERS REQUIRED. (As noted on Sheet A-1) An automatic residential fire sprinkler system shall be installed in one- and two-family dwellings as follows: In all new one- and two-family dwellings and existing one- and two-family dwellings when additions are made that increase the building area to more than 3,600 square feet. Exception: One or more additions made to a building after January 1, 2011 that does not total more than 1,000 square feet of building area. An automatic sprinkler system shall be provided throughout all new basements regardless of size and throughout existing basements that are expanded by more than 50%. NOTE: The owner(s), occupant(s) and any contractor(s) or subcontractor(s) are responsible for consulting with the water purveyor of record in order to determine if any modification or upgrade of the existing water service is required. A State of California license (C-16) Fire Protection Contractor shall submit plans, calculations, a completed permit application and appropriate fees to the Santa Clara County Fire Department for review and approval prior to beginning their work. CRC Sec. 313.2 as adopted and amended by LGTC.
87. CONSTRUCTION SITE FIRE SAFETY: (As noted on Sheet A-1) All construction sites must comply with applicable provisions of the CFC Chapter 33 and Santa Clara County Fire Department Standard Detail and Specification S1-7. Provide notations on subsequent plan submittals, as appropriate to the project. CFC Ch. 33.
88. WATER SUPPLY REQUIREMENTS: (As noted on Sheet A-1) Potable water supplies shall be protected from contamination caused by fire protection water supplies. It is the responsibility of the applicant and any contractors and subcontractors to contact the water purveyor supplying the site of such project, and to comply with the requirements of that purveyor. Such requirements shall be incorporated into the design of any water-based fire protection systems, and/or fire suppression water supply systems or storage containers that may be physically connected in any manner to an appliance capable of causing contamination of the potable water supply of the purveyor of record. Final approval of the system(s) under consideration will not be granted by the Santa Clara County Fire Department until compliance with the requirements of the water purveyor of record are documented by that purveyor as having been met by the applicant(s). 2016 CFC Sec. 903.3.5 and Health and Safety Code 13114.7.
89. ADDRESS IDENTIFICATION: (As noted on Sheet A-1) New and existing buildings shall have approved address numbers, building numbers or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property.

These numbers shall contrast with their background. Where required by fire code official, address numbers shall be provided in additional approved locations to facilitate emergency response. Address numbers shall be Arabic numbers or alphabetical letters. Numbers shall be a minimum of 4 inches (101.6 mm) high with a minimum stroke width of 0.5 inch (12.7mm). Where access is by means of a private road and the building cannot be viewed from the public way, a monument, pole or other sign or means shall be used to identify the structure. Address numbers shall be maintained. CFC Sec. 505.1. Show Drysdale Drive address on future plan submittals.

90. **REQUIRED FIRE FLOW:** The fire flow for this project is 2,500 GPM at 20 psi residual pressure from a single hydrant. As an automatic fire sprinkler system will be installed, the fire flow will be reduced by 50% establishing a required adjusted fire flow of 1,250 GPM at 20 psi residual pressure. Document provided from a local water purveyor confirms required fire flow is available.
91. **EMERGENCY GATE/ACCESS GATE REQUIREMENTS:** (As noted on Sheet A-1) Gate installations shall conform with the Fire department Standard Details and Specification G-1 and, when open shall not obstruct any portion of the required width for emergency access roadways or driveways. Locks, if provided, shall be fire department approved prior to installation. Gates across the emergency access roadways shall be equipped with an approved access device. Show on the plans where the proposed Knox key switch will be located.
92. **FIRE APPARATUS (ENGINE) ACCESS DRIVEWAY REQUIRED:** (As noted on Sheet C.4 of 8) Provide an access driveway with a paved all weather surface, a minimum unobstructed width of 12 feet, vertical clearance of 13 feet 6 inches, minimum circulating turning radius of 36 feet outside and 23 feet inside, and a maximum slope of 15%. Installation shall conform to the Fire Department Standard Details Specifications D-1 and CFC Section 503.

**PLANNING COMMISSION – September 9, 2020  
REQUIRED FINDINGS & CONSIDERATIONS FOR:**

**15925 Quail Hill Road  
Architecture and Site Application S-19-012**

**Requesting approval for demolition of an existing single-family residence and detached accessory dwelling unit, and construction of a two-story single-family residence on property zoned HR-1. APN 527-02-007.**

**PROPERTY OWNER: John and Allison Diep  
APPLICANT: Gary Kohlsaat.**

**FINDINGS**

**Required finding for CEQA:**

- The project is Categorically Exempt pursuant to the adopted Guidelines for the Implementation of the California Environmental Quality Act, Section 15303: New Construction or Conversion of Small Structures.

**Required finding for the demolition of a single-family residence and an accessory dwelling unit:**

- As required by Section 29.10.09030 (e) of the Town Code for the demolition of existing structures:
  1. The Town's housing stock will be maintained as the single-family residence will be replaced and the accessory dwelling unit may be replaced in the future.
  2. The existing structures have no architectural or historical significance, and are in poor condition.
  3. The property owner does not desire to maintain the structures as they exist; and
  4. The economic utility of the structures was not considered.
- As required by Section 29.10.330 of the Town Code for the demolition of existing accessory dwelling unit: The proposed elimination and/or demolition, (without replacement), is consistent with the Town's Housing Element of the General Plan, as the accessory dwelling unit may be replaced in the future.

**Required Compliance with Hillside Development Standards and Guidelines (HDS&G):**

- The project is in compliance with the Hillside Development Standards and Guidelines with exceptions to maximum cut and fill and height of retaining walls. The applicant has provided compelling reasons and evidence to support the granting of exceptions to the Hillside

Development Standards and Guidelines.

### **Compliance with Hillside Specific Plan**

- The project is in compliance with the Hillside Specific Plan in that it is a single-family residence being developed on an existing parcel. The proposed development is consistent with the development criteria included in the Specific Plan.

### **CONSIDERATIONS**

#### **Required considerations in review of Architecture & Site applications:**

- As required by Section 29.20.150 of the Town Code, the considerations in review of an Architecture and Site application were all made in reviewing this project.



Planning Department  
Community Development Department, Town of Los Gatos  
110 E. Main Street  
Los Gatos, CA 95030

April 23, 2020

**Re: The Diep Residence, 15925 Quail Hill Road  
Project Description/ Letter of Justification  
S-19-012**

To Whom it May Concern:

On behalf of John and Allison Diep and their young family, I am pleased to present this completely revised project of a current Architecture and Site application. The proposed project includes the demolition of an existing single story house, carport and cottage along with the construction of a new multi-story home with an attached four car garage. This letter accompanies the submitted building plans and additional exhibits for the above referenced project, and contains descriptions of the property, the neighborhood, and how it complies with the Hillside Development Standards and Guidelines.

#### **EXISTING PROPERTY DESCRIPTION**

The property is physically located at the south-east corner of Shady Lane and Drysdale Drive, although the official access and street address are on Quail Hill Road. The 0.96 acre property is currently accessed from a shared driveway that serves two other residences. The main residence and carport are located at the top of the property, and there is a cottage/ADU below on the sloped portion. All structures will be demolished as part of this application.

From the existing building pad, the remainder of the site slopes down towards Shady Lane. The average site slope is 25%; some portions of the slope exceed 30%, while the proposed building area is within the LRDA.

The existing residence and cottage, both of which will be removed, are visible from the intersection of Blossom Hill and LG Blvd., but the remainder of this property is not visible from any of the Town's identified viewing areas. While there are several homes nearby, the property is relatively private and isolated. There are several mature trees on the property, including several coast live oaks.

#### **DESCRIPTION OF PROPOSED RESIDENCE**

The design team has taken into consideration the comments provided by staff and planning commissioners, and this new proposal is a major departure from the previous application. From the style to the massing to the minimal number of exceptions to the HSDNG, this is really a complete redesign.

For starters, the style of this house is decidedly contemporary. It will feature horizontal rooflines stepping up the hill. Flat overhanging roof elements and large windows interact with a few vertical elements to ground the house into the hill. Exterior materials of stone, wood and colored stucco are

well-suited to the hillside environment. It will feature stone veneer, stucco, and stained wood siding; doors and window frames will be premium level aluminum in a dark anodized color. The forms are simple and appropriate for the hillside setting. A color and materials spreadsheet was completed and complies with the HDG&S.

As a condition to developing this property, the owners have agreed to vacate the Quail Hill vehicular easement and access their new residence from Drysdale Drive. This means that the existing flat pad The proposed house is situated wholly within the LRDA, just below the existing cottage. The front setback from Shady Lane is 101 feet, while the narrow lot dictates using the entire width (to the 20 foot setbacks). The house relates to Drysdale as the main entryway faces the street. A new walkway leads to a clearly delineated entry porch.

Both the first and second floors are set into the hillside to reduce visual impact. The house never touches the 25 foot height limit plane, maxing out around 22 feet, and in most instances is substantially lower. The overall combined height of the front elevation (as viewed from Shady Ln) comes in at 34'-9". It should be noted that it is virtually impossible for anyone to see this overall height from a straight vantage point, so the height will feel even less than what is actually there.

The proposed residence will not be more than 25% visible from any viewing area, including Blossom Hill and Los Gatos Blvd. The proposed development will not impact the privacy of the neighbors, and in fact, it will only improve the situation.

The proposed size of the home has been reduced by over 20%, from the previous 10,482 total sq. ft. to 8,621 sq. ft. The house has 5,076 sq. ft. of exposed living space that is countable towards the allowable FAR (5,100 SF + 400 SF Garage Allowance). There is basement space on both the main and lower floors totaling 3,545 sq. ft. Of this, 2,222 sq. is for parking and storage on the lower floor, while 1,323 sq. ft. is on the main level. By contrast, the previous design included 5,387 sq. ft. of below grade area.

To reduce visibility from both Drysdale and Shady Lane, the garages are tucked under the main floor and are accessed by a driveway off Drysdale. The garages are almost entirely below grade. Instead of a drive-in type of structure of the previous design, these are more traditional in nature and are a much more efficient use of space. Extra parking and maneuvering space has been provided since Drysdale is a steep and narrow street with limited parking opportunities. A total number of four covered and five uncovered parking spaces have been provided, all achieved with relatively minor grading.

### **SITE RESTORATION**

Once the existing structures have been removed, the man made building pad will become very apparent and noticeable. We are proposing to restore the upper slope to as natural a slope as possible, preferably less than 30% slope. This will also address a major potential liability of an unsupported fill slope, which happens to loom over the new residence. This area will be re-landscaped both for naturalization and for stability; a new trail will eventually be put in to provide access to the remaining upper pad area.

As a result of the grading and naturalization operation, two trees will need to be removed. One is Tree #597, a 20" dia. deodar cedar, listed as "fair", and the other is #598, an 18" dia. incense cedar, which is listed as being in poor condition.

### **EXCEPTIONS TO H,S,D&G REQUESTED**

This design is achieved with the minimum number of requested exceptions to the HSD&G. In fact the house itself doesn't require any exceptions either to grading or in terms of cut and fill. The exceptions we are formally requesting our itemized as follows:

Side Terrace: An exception to exceed the maximum fill height is being requested to fill under the main floor exterior terrace. The height needed will be 6 feet to be able to have this relatively small terrace be on the same level as the main floor. Due to the tight constraints of the property, this area is the only legitimate exterior entertaining space, and the lower retaining wall will be landscaped.

### **LANDSCAPING AND SITE WORK**

Preliminary Grading and Drainage plans were prepared by the civil engineering firm Hanna Brunetti. Earthwork quantities are relatively low for a hillside project. 1,891 cubic yards of cut and fill are required for the driveway and landscape areas; an additional 885 cu. yds. are required to naturalize the upper hill and old building pads.

Preliminary landscape plans were prepared by David Fox LA. The plan shows the site layout with the entry walk and stairs, outdoor terraces, existing and new trees as well as planted areas. A total of 73 new trees are shown to be planted. Several new trees are shown along the western property line to provide privacy screening between neighbors. Layers of trees and shrubs are being planted on both Shady Lane and Drysdale to screen the house from the road. Drought and deer tolerant plants are proposed- especially beyond 30 feet from the house- refer to the landscape plans for more detail.

One terrace is planned on the West side that connects both to the driveway and upper hill levels. There is also a small walk-out terrace behind the house, on the upper level, to provide light and access to the upper hill. This is achieved with two semi-circular retaining walls and a staircase.

### **COMPLIANCE WITH HILLSIDE DEVELOPMENT STANDARDS & GUIDELINES**

In addition to what was identified above, the proposed home specifically addresses the Hillside Development Standards and Guidelines as follows:

#### **SITE/ PLANNING:**

- The new home has been sited to maintain privacy of neighboring properties (II.C.G2)
- The siting of the house in relation to Drysdale Drive reduces the driveway length and grading impacts
- All of the perimeter trees have been preserved;
- The siting of the house reduces impact on visibility from the valley by being below the existing two structures being removed.

#### **HARMONY/COMPATIBILITY:**

- Given the hillside setting, with minimal neighbors for architectural context, the property allows for some freedom in exterior styling. The Contemporary Modern style responds very well to the design intent of the HDG&S in that it blends with this natural setting.

#### **SCALE AND MASS:**

- The multi-story home steps down the slope and the massing is tucked into the hillside. Flat roofs are used throughout and the majority of the ridgeline is under 20 feet.

- The house has been designed with simple forms and horizontal rooflines- along with blocks of varying exterior materials that break up each elevation into smaller units.

**EXTERIOR MATERIALS:**

- Materials are natural to blend with the environment
- All meet stringent WUI classified fire resistant materials.
- All exterior surfaces to meet the 30 LRV weighted average requirement.

**ENERGY CONSERVATION:**

- The house will employ high quality dual glazed, low E wood windows, ultra-high performance insulation packages and high efficiency mechanical systems for heating, cooling and domestic hot water.
- Covered porches will shade the major doors from the sun.
- The house is oriented to take full advantage of cross ventilation practices.
- Substantial amount of roof areas provide plenty of space for solar collectors
- The home will comply with the new 2019 REACH Codes

**PRIVACY:**

- The existing and new homes are in completely different areas, with the proposed residence set so much lower on the hill than before, so the changes will dramatically improve the privacy situation between all of the neighbors!
- The perimeter of the property will be lined with many trees and hedges that screen the house and exterior entertainment areas, providing privacy for all.

**LANDSCAPING:**

- All proposed landscaping shall comply with the Town's Landscaping Policies including the HDS&G section.
- Proposed drought tolerant plants and landscape materials have been chosen to enhance both the architecture and the natural setting of the lot.
- While only a few trees will be removed under this permit, several trees have been added to the site. Many of these will provide privacy screening between neighbors.

**GEOLOGICAL:**

- There are no significant geological hazards that exist to prevent a safe and secure structure to be constructed on this site.

**CONCLUSION**

This house has been conceived from the beginning to be compatible with the hillside setting. The size, mass, color and exterior style are in keeping with the intent of the Hillside Development Standards and Guidelines, and more importantly this home fits in with the immediate neighborhood.

Sincerely,



Gary Kohlsaat  
Architect C19245





ARCHITECTURE

Town of Los Gatos  
Planning Division  
110 E. Main Street  
Los Gatos, CA 95030

August 24, 2020

Re: The Diep Residence; 15925 Quail Hill Road  
Architecture and Site Application S-19-012  
Floor Area Reduction Discussion

Attn: Jennifer Armer

Thank you for pointing out the floor areas discrepancy. In order to rectify it, the above grade floor area for the house must be at or under 5,100 SF. Any square footage beyond that must be counted towards the above grade floor area of the garage and not to exceed the 400 SF garage allowance.

This floor area reduction can be achieved simply by lowering the house by 6". More floor area would be considered below grade basement and less would be above grade floor area. By doing so, the main floor would be reduced from 2,539 SF to 2,391, bringing the total main and second floor area to 5,100 SF. The lower floor garage area would be reduced from 52 SF to 16 SF, all of which is counted towards the 400 SF allowance.

The new floor area data is attached along with a revised grading exceptions site plan. You will see that while the fill exceptions have been reduced, the cut exceptions have been increased, all by 6" in height.

Site retaining walls that are downhill of the residence will be reduced in height by 6". While some walls in front, behind and uphill will get about 6" taller, many will not. For instance, at the front, the site contours are not as steep as the uphill side and slight grading behind the walls can be achieved to maintain the existing proposed wall heights. The same can be said for some of the southwest and southeast walls. Portions of the south walls (uphill) and walls at the west (rear) may be raised by 6". All of these walls are only visible by the occupants and not from outside the property. The additional cut for the site work and house has been estimated by the civil engineer to be about 250 cubic yards.

All possible measures will be employed to maintain or reduce site wall heights throughout the property. And all of these changes will be incorporated into the construction documents.

Sincerely,

A handwritten signature in black ink, appearing to read "Jaclyn Greenmyer", written over a light blue horizontal line.

Jaclyn Greenmyer

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# PROJECT DATA

**PROJECT ADDRESS:** 15925 QUAIL HILL ROAD  
 LOS GATOS

**OWNER:** JOHN & ALLISON DIEP  
 5950 COUNTRY CLUB PARKWAY  
 SAN JOSE, CA 95138  
 (408) 314-8493

**APN#:** 527-02-007  
**ZONING:** HR-1  
**OCCUPANCY GROUP:** R-3  
**CONSTRUCTION TYPE:** V-B SPRINKLERED

**GROSS:** 42,253 SF  
**NET SITE AREA:** 23,239 SF (45% SLOPE REDUCTION)  
**AVERAGE SLOPE:** 25%  
**ALLOWABLE FLOOR AREA:** 5,100 SF  
**GARAGE ALLOWANCE = 400 SF**

**PROPOSED FLOOR AREAS:**

	<u>FLOOR AREA</u>	<u>BASEMENT</u>	<u>TOTAL AREA</u>
MAIN FLOOR	2,391 SF	1,247 SF	3,638 SF
SECOND FLOOR	2,709 SF	- SF	2,709 SF
LOWER FLOOR	16 SF	2,253 SF	2,274 SF
<b>TOTAL</b>	<b>5,116 SF</b>	<b>3,505 SF</b>	<b>8,621 SF</b>

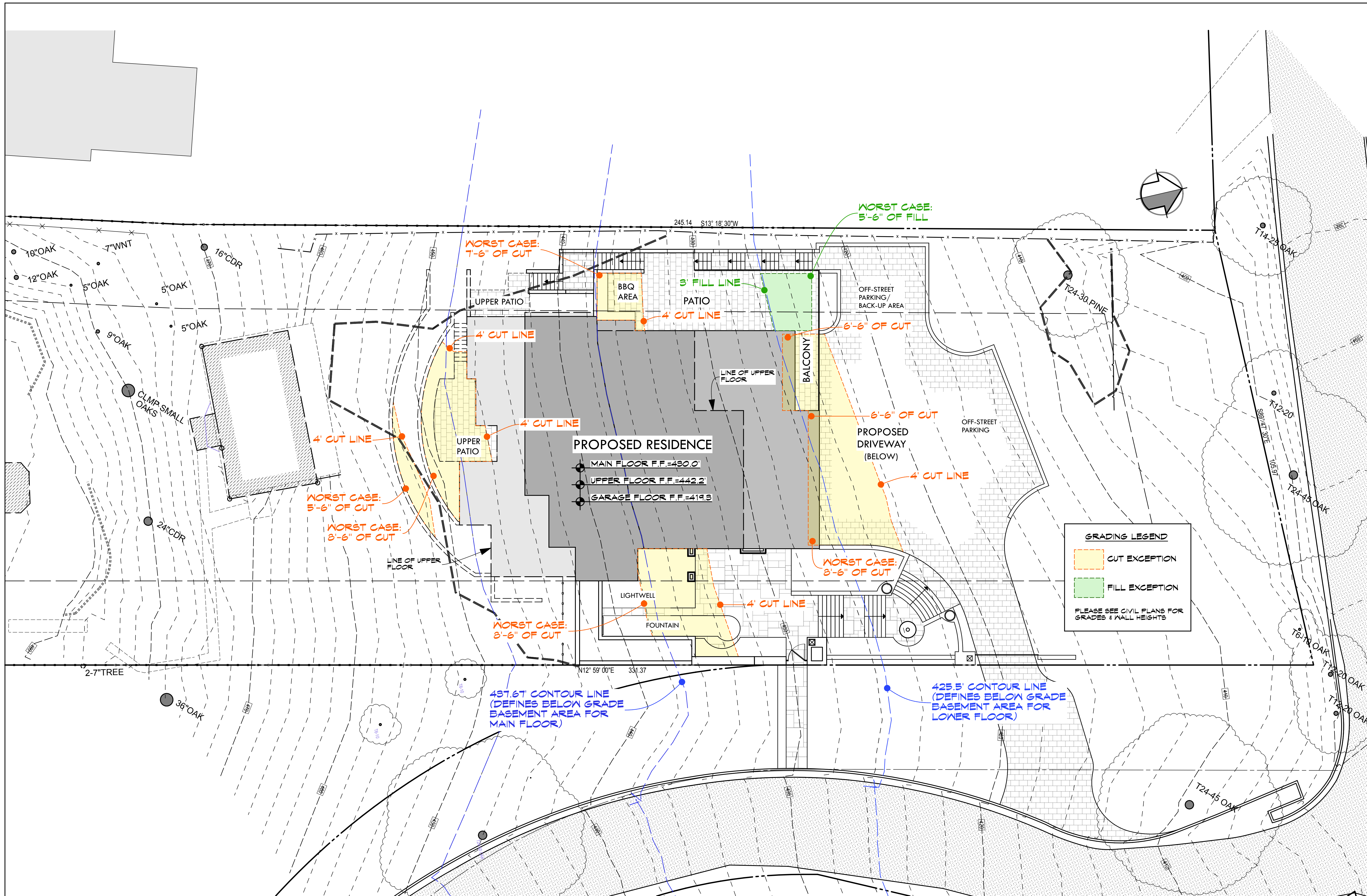
  

LIVING AREA	7,449 SF	<b><u>EXISTING STRS TO BE REMOVED:</u></b>	
GARAGE	1,172 SF	RESIDENCE	2,527 SF
<b>TOTAL</b>	<b>8,621 SF</b>	ADU	815 SF
		CARPORIT/GARAGE	607 SF
		<b>TOTAL FLOOR AREA =</b>	<b>3,949 SF</b>

<u>SITE AREAS:</u>	<u>PROPOSED</u>	<u>EXISTING</u>
RESIDENCE	4,533 SF	2,527 SF
ADU/ ACCESSORY STRS.	0 SF	1,422 SF
COVERED PORCH	140 SF	200 SF
BALCONY	540 SF	210 SF
<b>TOTAL BUILDING COVERAGE</b>	<b>4,673 SF = 11.0%</b>	<b>4,359 SF = 10.3%</b>
PATIOS & CONC. PATHS	1,330 SF	541 SF
STAIRS	793 SF	105 SF
DRIVEWAY	3,283 SF	1,303 SF
<b>TOTAL IMPERVIOUS COVERAGE</b>	<b>10,084 SF = 23.8%</b>	<b>6,308 SF = 14.9%</b>

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**SITE GRADING EXCEPTIONS**

SCALE: 1" = 10'



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May 14, 2020

Ms. Jennifer Armer  
Community Development Department  
Town of Los Gatos  
110 E. Main Street  
Los Gatos, CA 95031

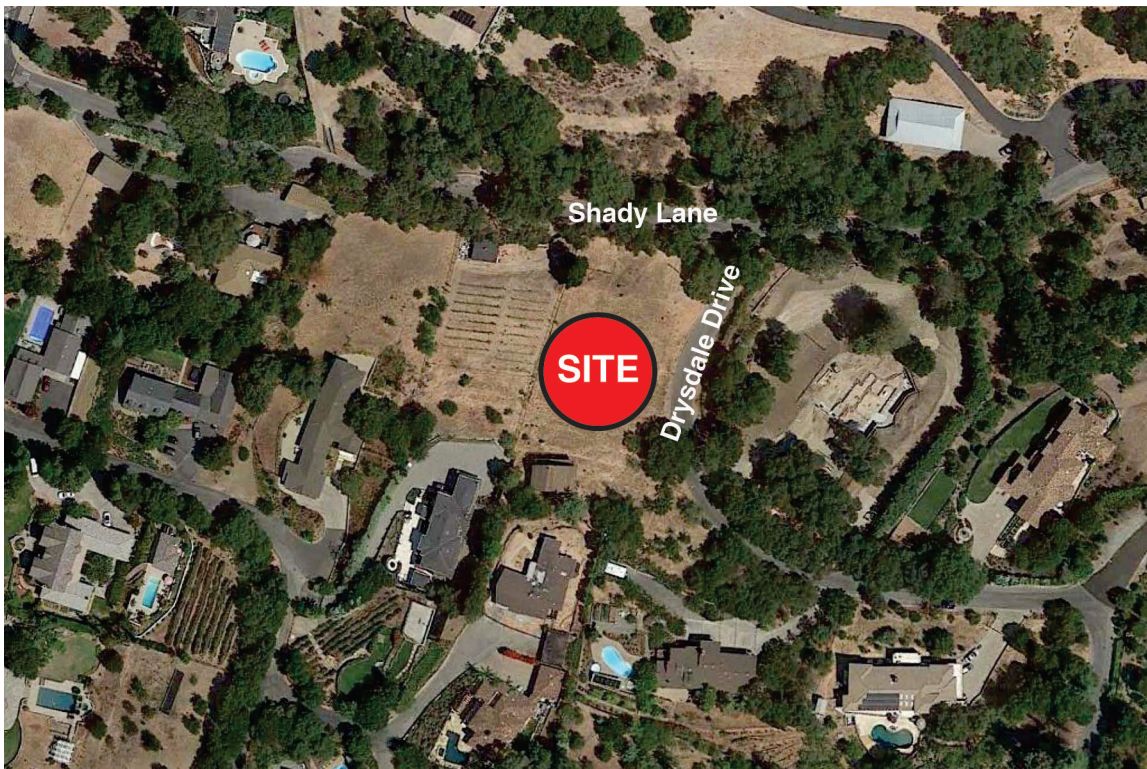
**RE: 15925 Quail Hill Road**

Dear Jennifer:

I reviewed the drawings, and evaluated the site context. I have previously reviewed two other proposed homes on this site. My comments and recommendations are as follows:

**Neighborhood Context**

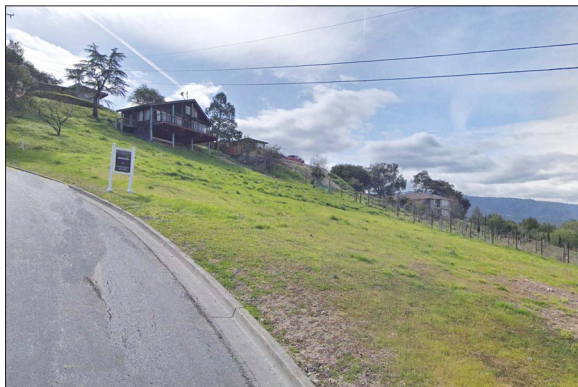
The site is steeply sloped with an existing house located at the top of the slope. This proposal is for a new house to be located near the base of the slope at the intersection of Shady Lane and Drysdale Drive. The site is shown on the aerial photo below, and photos of the site and its surroundings are on the following page.







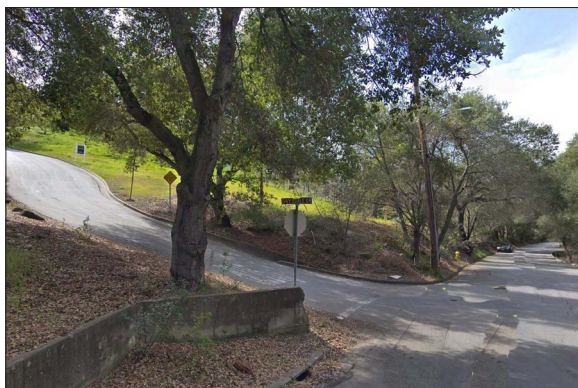
*Aerial Photo looking South*



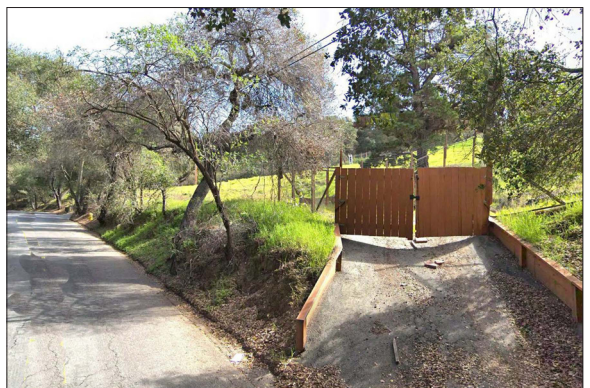
*The Site looking Uphill*



*The Site looking Downhill*



*The Site from Shady Lane looking West*



*The Site from Shady Lane looking East*

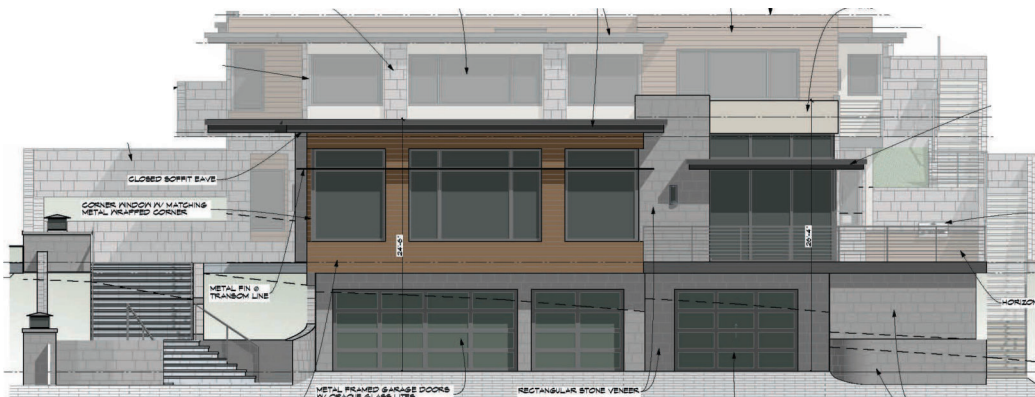


## Concerns and Recommendations

The proposed site for the house is near the bottom of the parcel adjacent to both Shady Lane and Drysdale Drive with substantial landscaping proposed to buffer views of the house. It is well designed with attention to the Town's *Hillside Development Standards and Design Guidelines*. Some specific positive design elements of the design include the following:

- Low profile building masses that step with the natural grade
- Articulated facades
- Recessed garage doors
- Projecting eyebrow canopies and roof eaves to provide facade texture and shadows
- High quality materials consistent with the *Hillside Development Standards and Design Guidelines* including stone and wood siding
- Varied exterior materials to provide facade variety and visually break the structure into smaller elements
- Low stone retaining walls to step and blend with the grade
- Live Oak landscaping in the front setback

See proposed elevations and sketches below.



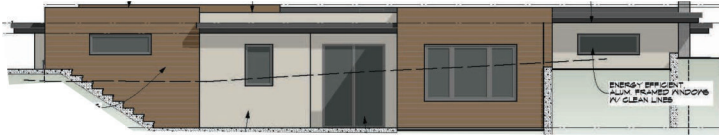
Proposed Front Elevation: Shady Lane



Proposed Left Side Elevation: Drysdale Drive



Proposed Right Side Elevation



*Proposed Rear Elevation*



*Front and Left Side View*

Note: Low wall at bottom is different than shown on the floor plans



*Front View*

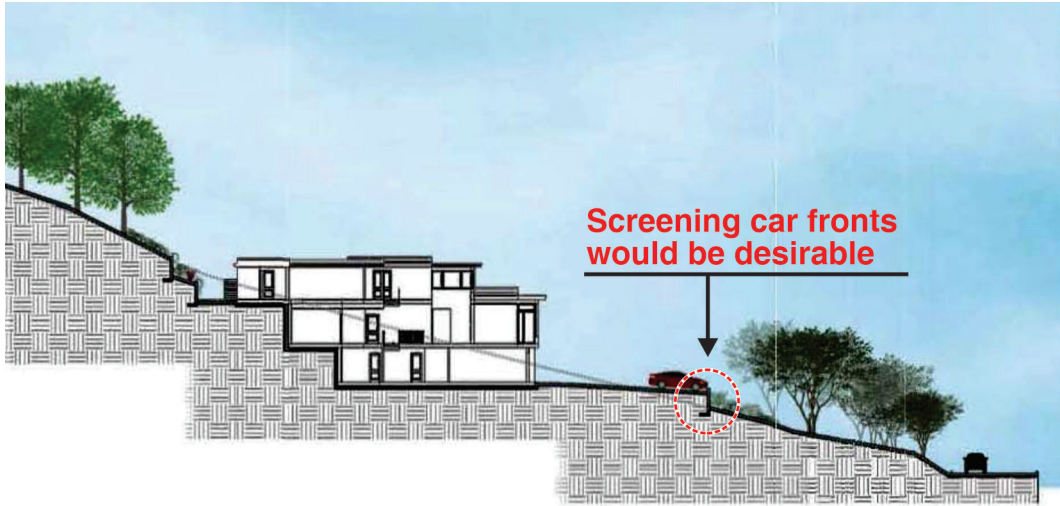


*Front and Right Side View*

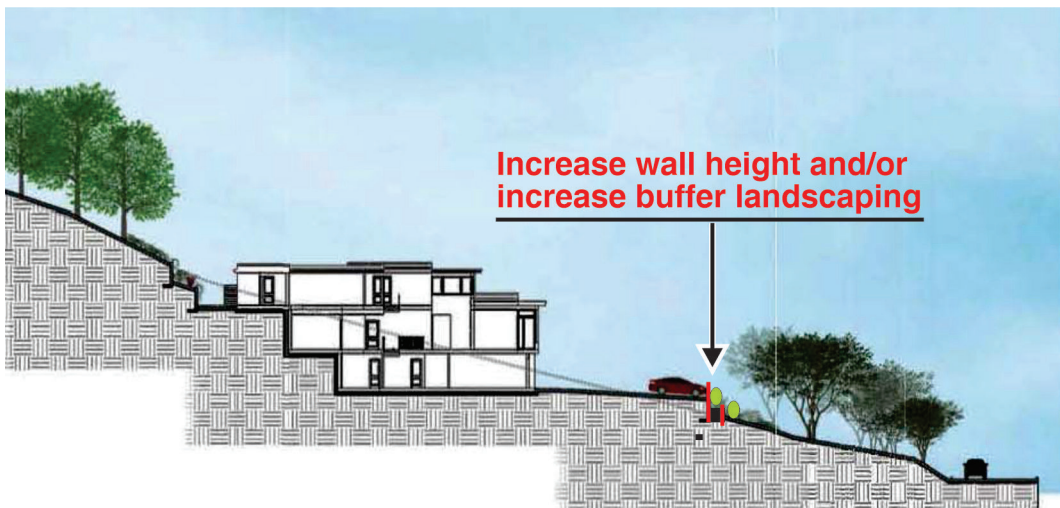


While the proposed house is well designed, there are a few minor concerns, as follows:

1. The low stone wall at the exterior parking area has proposed landscaping in front of it, but the plantings may not shield the car fronts from view.

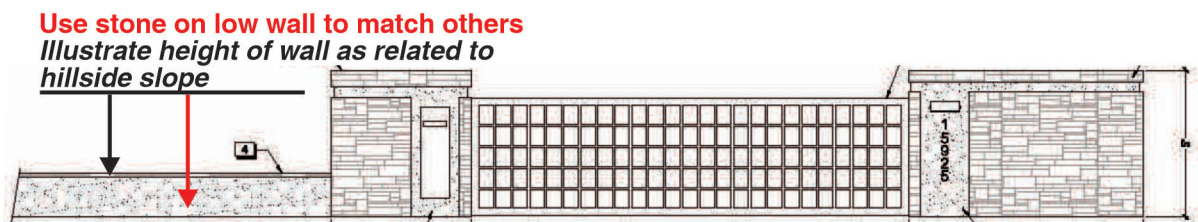


**Recommendation: Increase wall height and/or increase buffer landscaping.**



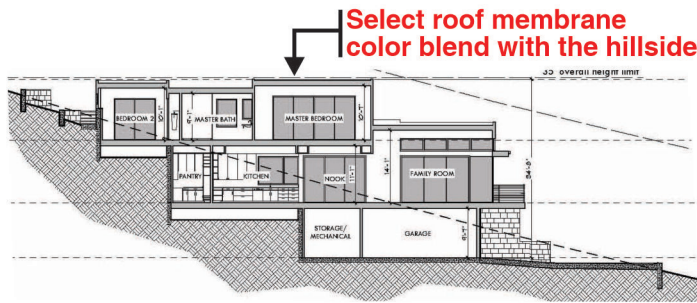
2. While most of the low walls are faced with stone, the low wall along Drysdale Drive is proposed as stucco with a stone cap.

**Recommendation: Use stone to match other low landscape walls, and provide an illustration to show the proposed wall heights related to the hillside slope (e.g., sloped or stepped).**



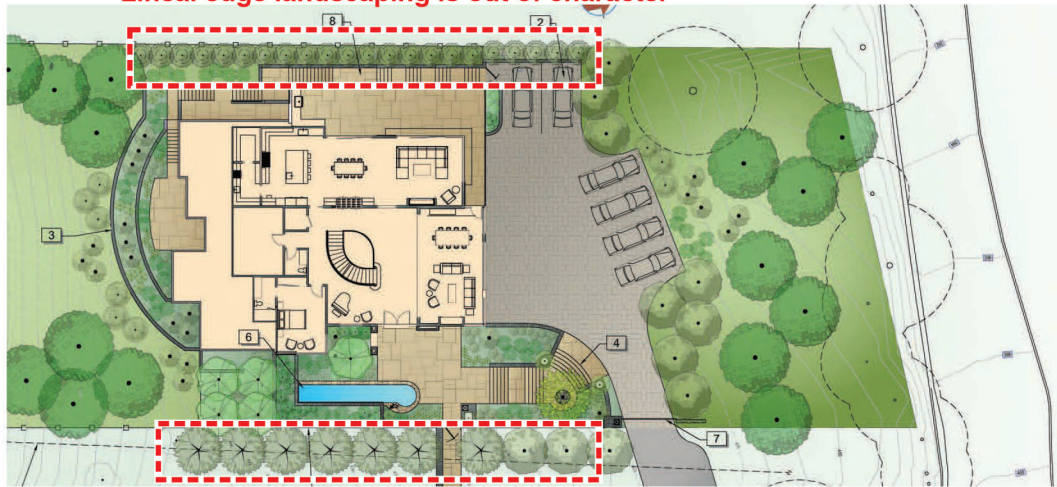
3. All roofs are relatively flat with PVC roofing which will present a large viewable area from above.

**Recommendation: Select roofing color to blend with the home colors and the natural environment.**



4. In general, the landscaping is varied in size and placement, and is designed to blend with the hillside environment as required by the Town's *Hillside Development Standards and Design Guidelines*. However, the proposed landscaping at both side setbacks is more regular and linear - see example photos below.

**Lineal edge landscaping is out of character**



**Lineal edge landscaping is out of character**



*Neighboring property edge*



*Drysdale Drive edge*

**Recommendation: Reevaluate the side yards landscaping to increase its informality consistent with the hillside location.**

Jennifer, please let me know if you have any questions, or if there are other issues that I did not address.

Sincerely,  
CANNON DESIGN GROUP

A handwritten signature in black ink that reads "Larry L. Cannon". The signature is written in a cursive, flowing style.

Larry L. Cannon

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David R. Fox & Company • Landscape Architecture  
1188 kotenberg ave, san jose, california 95125  
david@foxla.net 408-761-0212 mobile

Jennifer T.C. Armer  
Senior Planner, Town of Los Gatos

6-15-20

Re: 15925 Quail Hill Road, application S-19-012, Responses to comments by CDG

1. A review of the planting plan, sheet L2.0, would show the reviewer that the shrubs in front of the wall are *Arctostaphylos densiflora* 'Howard McMinn', a variety of Manzanita. This is a dense native shrub that grows to a height of 6-10' and have a spread of 6'. They are placed on 4' centers and will easily provide screening for any car fronts in the parking area.
2. Since the retaining walls are fully covered with plantings that will obscure the walls there is no need to go to the expense of veneering the faces with stone. The stucco will be either a dark integral color or be painted with a low LRV paint. The combination of the dense plantings, the low height of the walls, and the dark finish will bring the visual impact of the walls to a low level.
3. The wall detail has been revised to show the sloping wall. Referencing the planting plan on sheet L2.0 the shrubs designated in front of the wall are *Arctostaphylos* 'John Dourley'. As indicated in the detail the wall is 12" above the existing grade for its run. The specified shrub grows 2'-3' high and is planted in a double row. This will completely cover the wall and there is no need for the expense of stone veneer. As with the parking area wall mentioned in response 2, the stucco will be either a dark integral color or be painted with a low LRV paint.
4. In response to the linear nature of the plantings on the sides of the house. On the west side of the house there was a desire by the neighbors to have effective screening on that side of the house. The planting area is just more than 5' wide and cannot accommodate the wide canopies that characterize the plantings of the area in front of the house. The chosen plantings will provide effective screening for the neighbors and fit the narrow space provided.

On the east side of the house, the Drysdale side, there was a desire by the owners to screen this elevation of the house for privacy and the trees will also provide a screen for cars traveling on Drysdale. The line of trees planted is more in character with the modern nature of the architecture and reflects the lines of the house. The line of trees will also provide a more effective screen than a random placement.

Please review the revised plans and let me know of any additional changes. You may reach me at my email: [david@foxla.net](mailto:david@foxla.net)

Regards,

David Fox  
Landscape Architect  
CA lic# 1966/5053

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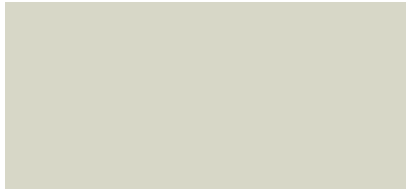


# KOHLSAAT & ASSOCIATES

ARCHITECTURE

## COLOR SAMPLES BOARD

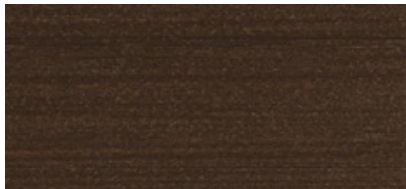
**The Diep Residence; 15925 Quail Hill**



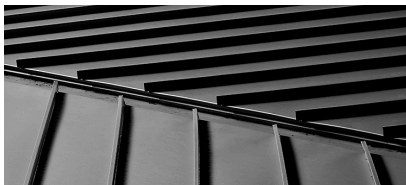
**STUCCO:**  
INTEGRAL COLOR COAT STUCCO -  
BENJAMIN MOORE - BALBOA MIST (LRV 67.4)



**STONE VENEER:**  
EARTHWOOD TAILORED LEDGESTONE, BUECHEL QUARRY  
(LRV 21.6)



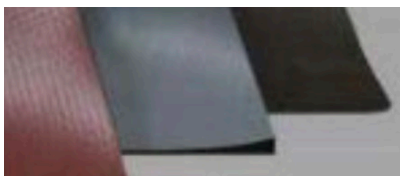
**WOOD SIDING:**  
SEMI-TRANSPARENT STAINED WOOD SIDING,  
DARK WALNUT (LRV 3.94)



**FASCIA AND GUTTERS:**  
SLATE GRAY (LRV 25)



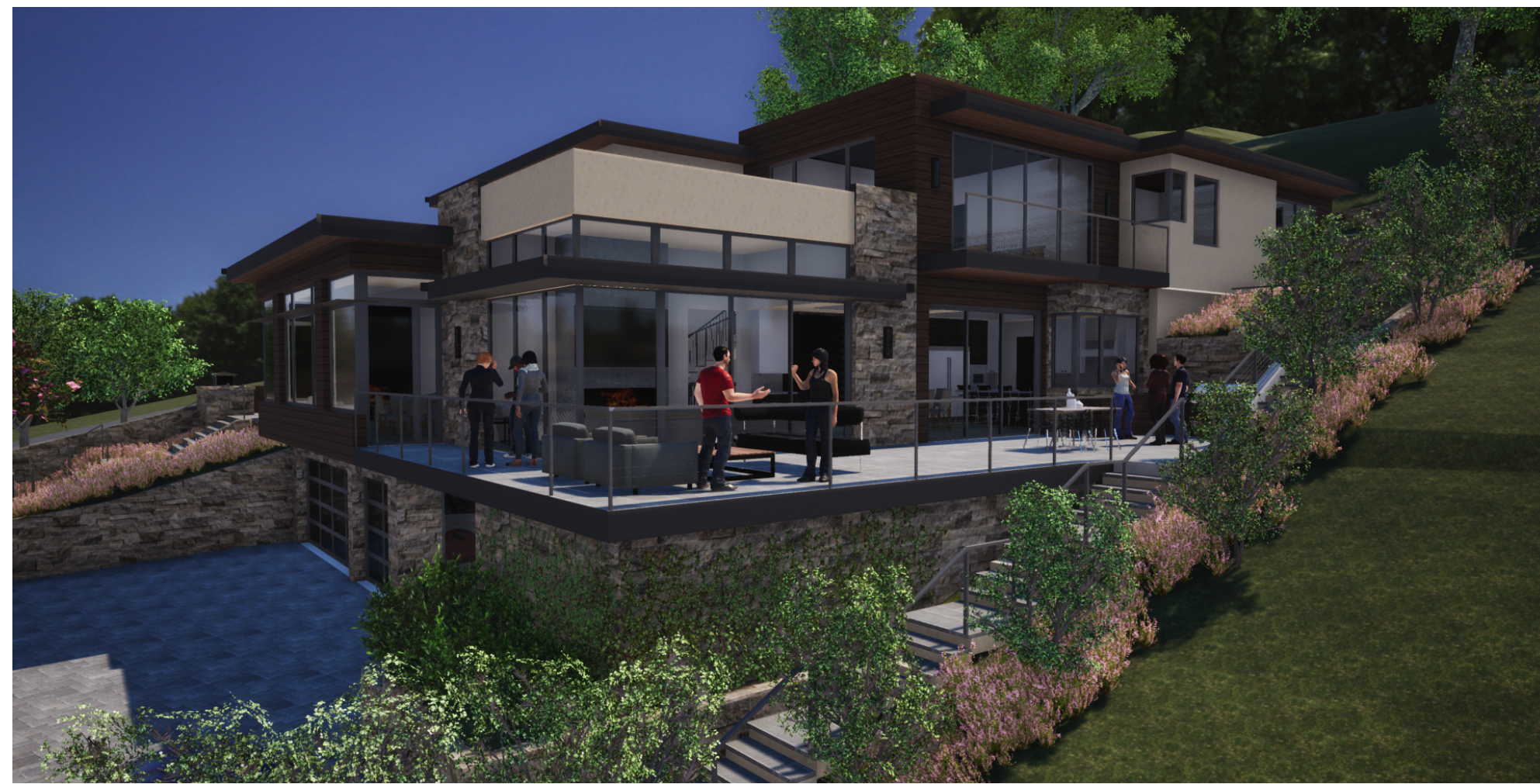
**WINDOWS & DOORS:**  
FLEETWOOD, BLACK ANODIZED ALUMINUM (LRV 3.3)



**ROOFING:**  
PVC MEMBRANE ROOFING, BY IB ROOFING, 80 MIL GRAY (LRV 18.1)

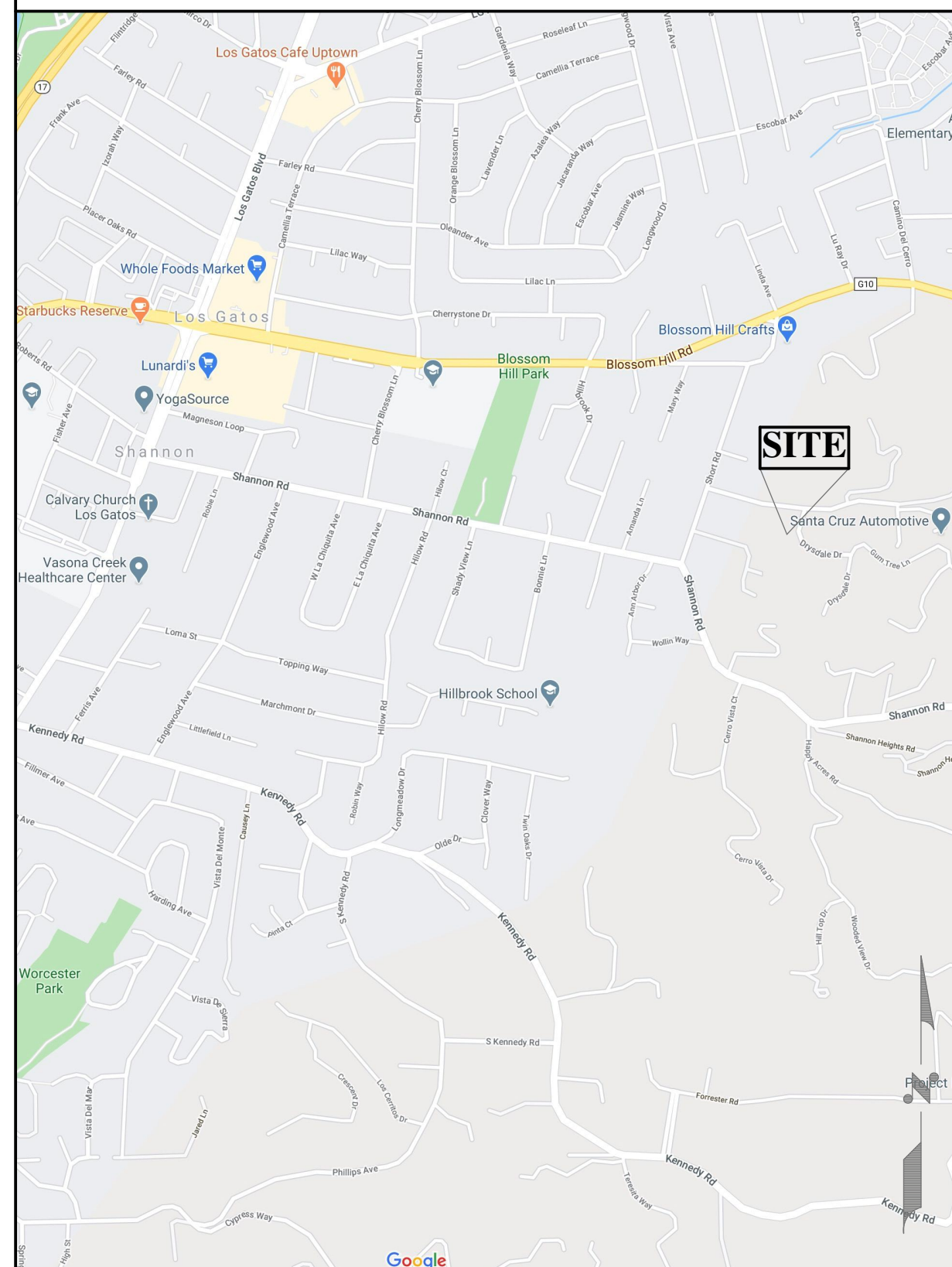
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# The Diep Residence

## VICINITY MAP



## PROJECT DIRECTORY

**ARCHITECT:**  
**KOHLSAAT & ASSOCIATES**  
 51 UNIVERSITY AVENUE, SUITE L  
 LOS GATOS, CA 95020  
 TEL: (408) 395-2555

**SURVEYOR & CIVIL ENGINEER:**  
**HANNA-BRUNETTI**  
 7651 EIGLEBERRY STREET  
 GILROY, CA 95020  
 TEL: (408) 842-2173

**LANDSCAPE ARCHITECT:**  
**DAVID R. FOX & COMPANY**  
 50 UNIVERSITY AVENUE, STE142  
 LOS GATOS, CA 95020  
 TEL: (408) 761-0212

## SCOPE OF WORK

A NEW 5,076SF SINGLE FAMILY RESIDENCE WHICH INCLUDES 6 BEDROOMS, 6 FULL BATHS, ONE HALF BATH, A MUSIC NOOK, WINE STORAGE, A VERANDA AND BBQ AREA, AND A 4 CAR GARAGE. SCOPE ALSO INCLUDES THE DEMOLITION OF A 2,527 SF RESIDENCE, AN ADU/COTTAGE AND A CARPORT, AND THE REMOVAL OF 2 TREES.

## NOTES

- FIRE SPRINKLERS:** An automatic residential fire sprinkler system shall be installed in one- and two-family dwellings as follows: In all new one- and two-family dwellings and in existing one- and two-family dwellings when additions are made that increase the building area to more than 3,600 square feet. Exception: A one-time addition to an existing building that does not total more than 1,000 square feet of building area. Note: The owner(s), occupant(s) and any contractor(s) or subcontractor(s) are responsible for consulting with the water purveyor of record in order to determine if any modification or upgrade of the existing water service is required. A state of California licensed (C-16) Fire Protection Contractor shall submit plans, calculations, a completed permit application and appropriate fees to this department for review and approval prior to beginning their work. CFC Sec. 513.2 as adopted and amended by LGFC.
- WATER SUPPLY REQUIREMENTS:** Potable water supplies shall be protected from contamination caused by fire protection water supplies. It is the responsibility of the applicant and any contractors and subcontractors to contact the water purveyor supplying the site of such project, and to comply with the requirements of that purveyor. Such requirements shall be incorporated into the design of any water-based fire protection systems, and/or fire suppression water supply systems or storage containers that may be physically connected in any manner to an appliance capable of causing contamination of the potable water supply of the purveyor of record. Final approval of the system(s) under consideration will not be granted by this office until compliance with the requirements of the water purveyor of record are documented by that purveyor as having been met by the applicant(s). 2016 CFC Sec. 402.3.5 and Health and Safety Code 13114.7
- ADDRESS IDENTIFICATION:** New and existing buildings shall have approved address numbers. Building numbers or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property. These numbers shall contrast with their background. Where required by the fire code official, address numbers shall be provided in additional approved locations to facilitate emergency response. Address numbers shall be Arabic numbers or alphabetical letters. Numbers shall be a minimum of 4 inches (101.6 mm) high with a minimum stroke width of 0.5 inch (12.7 mm). Where access is by means of a private road and the building cannot be viewed from the public way, a monument, pole or other sign or means shall be used to identify the structure. Address numbers shall be maintained. (CFC Sec. 505.1)
- REQUIRED FIRE FLOW:** (Letter from SJM) The fire flow for this project is 2,750 GPM at 20 psi residual pressure from a single hydrant. As an automatic fire sprinkler system will be installed, the fire flow will be reduced by 50% establishing a required adjusted fire flow of 1375 GPM at 20 psi residual pressure. Documentation provided from a local water purveyor confirms required fire flow is available.
- EMERGENCY GATE/ACCESS REQUIREMENTS:** Gate installations shall conform with Fire Department Standard Details and Specification 6-1 and, when open shall not obstruct any portion of the required width for emergency access roadways or driveways. Locks, if provided, shall be fire department approved prior to installation. Gates across the emergency access roadways shall be equipped with an approved access device. Knox Keyswitch is required for the automatic gate.
- FIRE APPARATUS (ENGINE) ACCESS DRIVEWAY REQUIRED:** Provide an access driveway with a paved all-weather surface, a minimum unobstructed width of 12 feet, vertical clearance of 13 feet 6 inches, minimum circulating turning radius of 36 feet outside and 28 feet inside, and a maximum slope of 15%. Installations shall conform to the Fire Department standard Details Specifications D-1 and CFC Section 505.

## PROJECT DATA

**PROJECT ADDRESS:** 15925 QUAIL HILL ROAD  
LOS GATOS

**OWNER:** JOHN & ALLISON DIEP  
5950 COUNTRY CLUB PARKWAY  
SAN JOSE, CA 95139  
(408) 514-8495

**APN#:** 527-02-007

**ZONING:** HR-1

**OCCUPANCY GROUP:** R-3

**CONSTRUCTION TYPE:** V-B SPRINKLERED

**GROSS:** 42,253 SF

**NET SITE AREA:** 23,239 SF (45% SLOPE REDUCTION)

**AVERAGE SLOPE:** 25%

**ALLOWABLE FLOOR AREA:** 5,100 SF + 400 SF  
GARAGE ALLOWANCE = 5,500 SF

PROPOSED FLOOR AREAS:			
	FLOOR AREA	BASEMENT	TOTAL AREA
MAIN FLOOR	2,539 SF	1,099 SF	3,638 SF
SECOND FLOOR	2,709 SF	- SF	2,709 SF
LOWER FLOOR	52 SF	2,222 SF	2,274 SF
TOTAL	5,300 SF	3,321 SF	8,621 SF

EXISTING STRS TO BE REMOVED:	
	RESIDENCE
ADU	2,527 SF
CARPORT/GARAGE	815 SF
TOTAL FLOOR AREA	3,342 SF

SITE AREAS:	PROPOSED	EXISTING
RESIDENCE	4,533 SF	2,527 SF
ADU/ ACCESSORY STRS.	0 SF	1,422 SF
COVERED PORCH	140 SF	200 SF
BALCONY	540 SF	210 SF
TOTAL BUILDING COVERAGE	4,673 SF = 11.0%	4,359 SF = 10.3%
PATIOS & CONC. PATHS	1,330 SF	541 SF
STAIRS	798 SF	105 SF
DRIVEWAY	3,235 SF	1,503 SF
TOTAL IMPERVIOUS COVERAGE	10,034 SF = 23.8%	6,503 SF = 14.9%

## SHEET INDEX

- A-1 COVER SHEET
- A-2 NEIGHBORHOOD PLAN
- A-3 SITE PLAN
- A-4 GRADING EXCEPTIONS SITE PLAN
- C.1 CIVIL COVER SHEET
- C.2 BLUEPRINT FOR A CLEAN BAY
- C.3 EXISTING TOPOGRAPHY & DEMO PLAN
- C.4 GRADING & DRAINAGE PLAN
- C.5 GRADING & DRAINAGE PLAN
- C.6 GRADING & DRAINAGE PLAN
- C.7 DRIVEWAY PROFILE & DETAILS
- C.8 EROSION CONTROL PLAN
- A-5 MAIN FLOOR PLAN
- A-6 SECOND FLOOR PLAN
- A-7 LOWER FLOOR PLAN
- A-8 ROOF PLAN
- A-9 FRONT & LEFT ELEVATIONS
- A-10 RIGHT & REAR ELEVATIONS
- A-11 CROSS SECTIONS
- L1.0 CONCEPT LANDSCAPE PLAN
- L1.0 CONCEPT LANDSCAPE PLAN B/W
- L1.1 SITE SECTIONS
- L2.0 PLANTING PLAN
- L2.1 LANDSCAPE DETAILS
- L3.0 TREE TABLE & PROTECTION PLAN

## REVISIONS

NO.	DATE	DESCRIPTION

**KOHLSAAT & ASSOCIATES**  
 51 UNIVERSITY AVE. • L • LOS GATOS, CA • 95020 • (408) 395-2555

A NEW RESIDENCE:  
**THE DIEP RESIDENCE**  
 15925 QUAIL HILL ROAD LOS GATOS, CA

COVER SHEET

DATE: 04/23/20

SCALE: AS SHOWN

SHEET

**A-1**

1 OF -





REVISIONS	

**KOHLSAAT & ASSOCIATES**  
51 UNIVERSITY AVE. • LOS GATOS, CA • 95030 • (408) 395-2555

A NEW RESIDENCE:  
**THE DIEP RESIDENCE**  
15925 QUAIL HILL ROAD LOS GATOS, CA

NEIGHBORHOOD PLAN

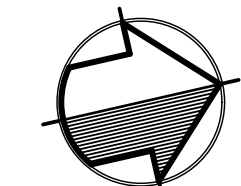
DATE: 04/23/20

SCALE: AS SHOWN

SHEET

**A-2**

2 OF -



**NEIGHBORHOOD PLAN**

SCALE: 1" = 30'

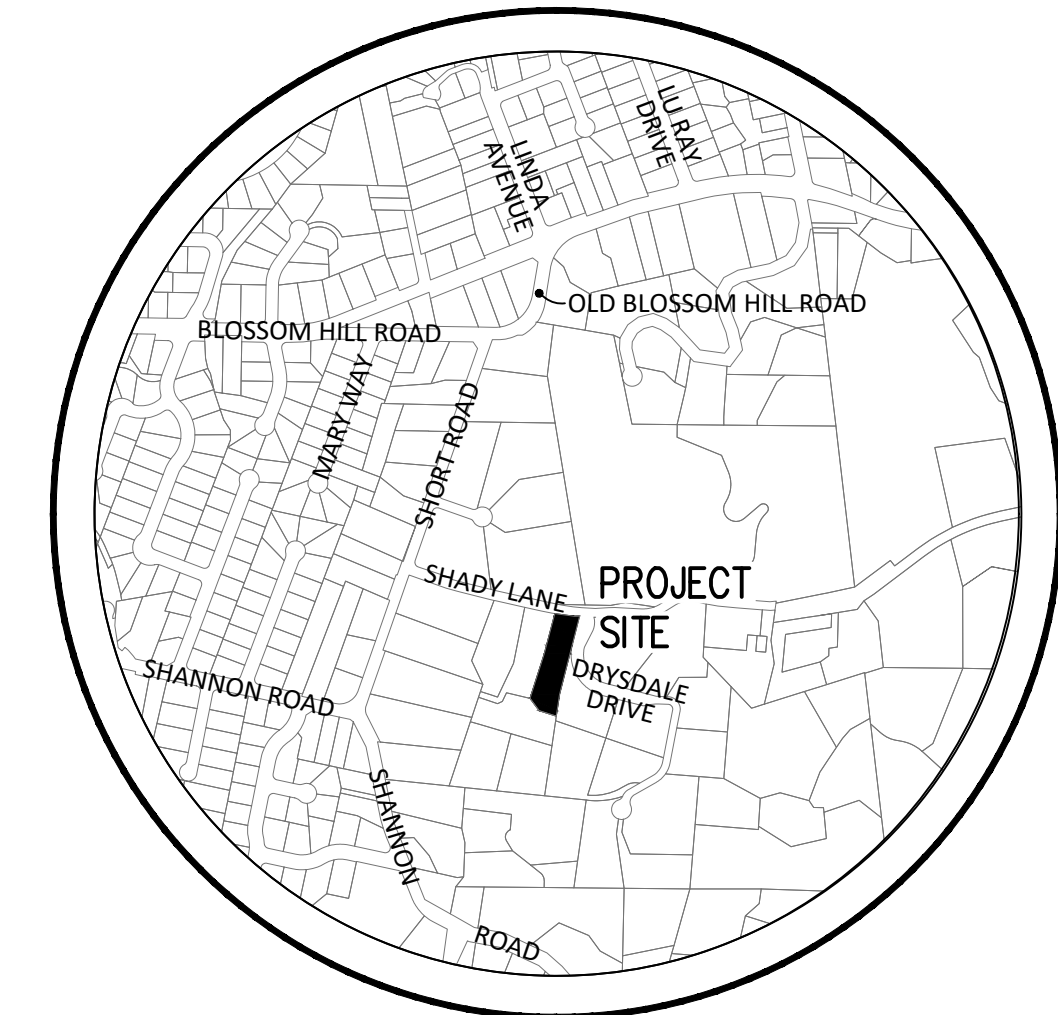








# PLAN FOR THE IMPROVEMENT OF GRADING & DRAINAGE PLANS TOWN OF LOS GATOS ARCHITECTURAL AND SITE APPLICATION NO. S-19-012

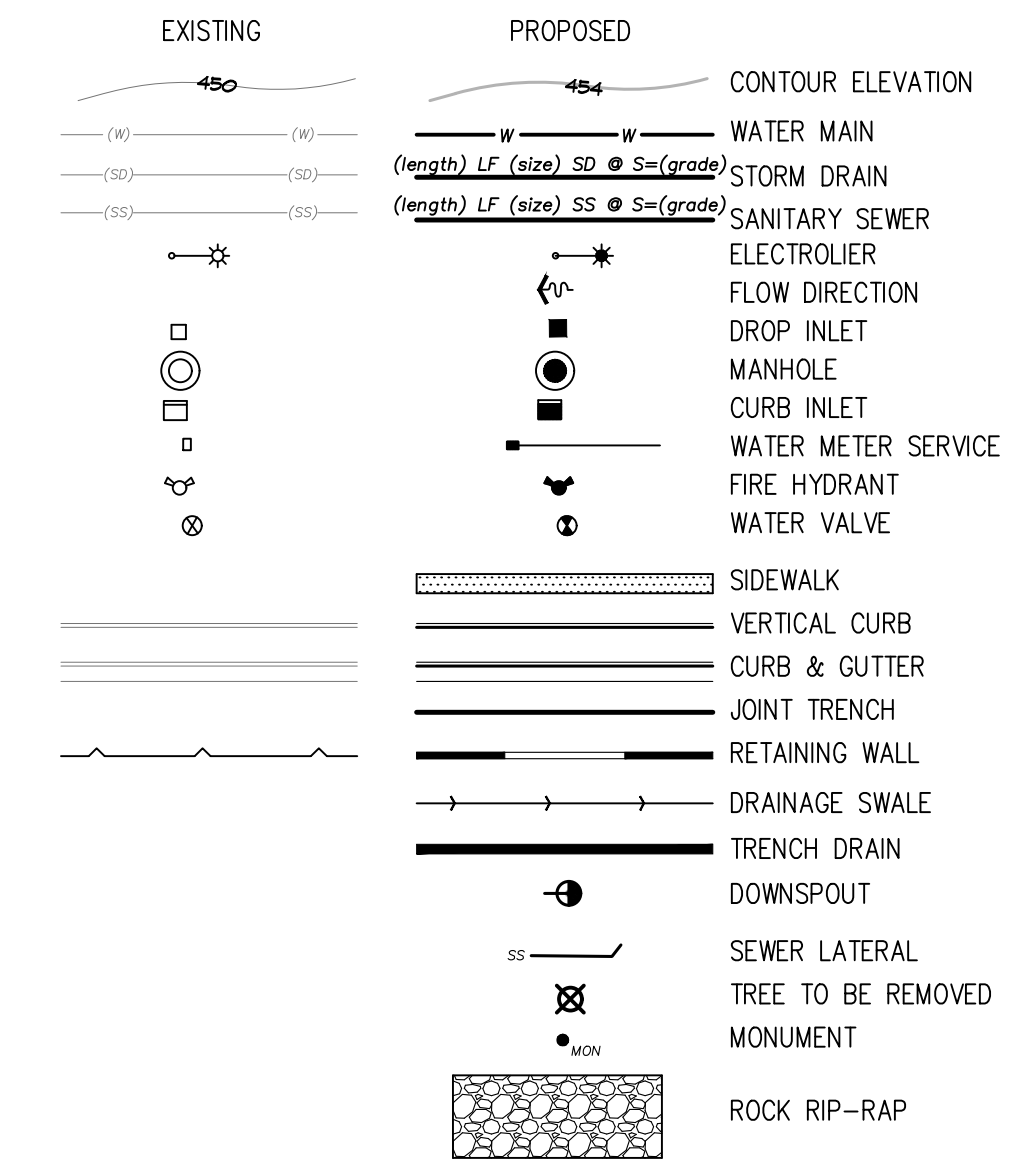


VICINITY MAP

## SHEET INDEX

- C.1 TOWN NOTES, PROJECT DATA, LEGEND & ABBREVIATIONS
- C.2 BLUEPRINT FOR A CLEAN BAY SHEET
- C.3 EXISTING TOPOGRAPHY AND DEMOLITION PLAN
- C.4 GRADING & DRAINAGE PLAN - DRIVEWAY AND GARAGE LEVEL
- C.5 GRADING & DRAINAGE PLAN - MAIN LEVEL
- C.6 GRADING & DRAINAGE PLAN - UPPER LEVEL
- C.7 DRIVEWAY PROFILE
- C.8 EROSION CONTROL PLAN

### LEGEND



### ABBREVIATIONS

AB	AGGREGATE BASE	G	GAS	RCP	REINFORCED CONCRETE PIPE
AC	ASPHALT CONCRETE	GA	GAUGE	RM	RIGHT-OF-WAY
AD	AREA DRAIN	GB	GRADE BREAK	R/W	RIGHT-OF-WAY
ARV	AIR RELEASE VALVE	GM	GAS METER	(S)	SOUTH
BC	BACK OF CURB	GS	GAS SERVICE	S	SLOPE
BF	BACKFLOW PREVENTER	HDPE	HIGH-DENSITY POLYETHYLENE	SCC	SANTA CLARA COUNTY
BW	BOTTOM OF WALL	HP	HIGH POINT	SCDD	SANTA CLARA COUNTY FIRE DEPARTMENT
CATV	CABLE TELEVISION	IEE	INGRESS/EGRESS EASEMENT	SD	STORM DRAIN
CB	CATCH BASIN	IN	INCH	SDCO	STORM DRAIN CLEANOUT
CFS	CUBIC FEET PER SECOND	INV	INVERT ELEVATION	SDE	STORM DRAIN EASEMENT
C/L	CENTERLINE	LAT	LATERAL	SDMH	STORM DRAIN MANHOLE
CMP	CORRUGATED METAL PIPE	LG	LIP OF GUTTER	SDR	STANDARD DIMENSION RATIO
CO	CLEANOUT	LP	LOW POINT	SF	SQUARE FEET
CO	CUBIC YARD	MAX	MAXIMUM	SIWC	SAN JOSE WATER COMPANY
DCVA	DOUBLE CHECK VALVE ASSEMBLY	MH	MANHOLE	SS	SANITARY SEWER
DI	DROP INLET	MIN	MINIMUM	SSCO	SANITARY SEWER CLEANOUT
DIA	DIAMETER	MPH	MILES PER HOUR	SSE	SANITARY SEWER EASEMENT
DIP	DUCTILE IRON PIPE	(N)	NORTH	SSMH	SANITARY SEWER MANHOLE
DWY	DRIVEWAY	N.T.S.	NOT TO SCALE	STD	STANDARD
(E)	EAST	O.C.	ON CENTER	S/W	SIDEWALK
ELEC	ELECTRICAL	O.D.	OUTSIDE DIAMETER	TC	TOP OF CURB
EP	EDGE OF PATH	PAD	PAD ELEVATION	TEL	TELEPHONE
EVAE	EMERGENCY VEHICLE ACCESS EASEMENT	PCC	PORTLAND CEMENT CONCRETE	TLG	TOWN OF LOS GATOS
EX	EXISTING	PERF	PERFORATED	TW	TOP OF WALL
FC	FACE OF CURB	PG&E	PACIFIC GAS & ELECTRIC COMPANY	TYP	TYPICAL
FDC	FIRE DEPARTMENT CONNECTION	PIE	PRIVATE INGRESS/EGRESS EASEMENT	VCP	VITRIFIED CLAY PIPE
FF	FINISHED FLOOR ELEVATION	PL	PROPERTY LINE	(W)	WEST
FG	FINISHED GRADE	PR	PROPOSED	W	WATER
FL	FIRE HYDRANT	PSDE	PRIVATE STORM DRAIN EASEMENT	WM	WATER METER
FH	FLOW LINE	PSE	PUBLIC SERVICE EASEMENT	WS	WATER SERVICE
FM	FORCED MAIN	PSSE	PRIVATE SANITARY SEWER EASEMENT	WV	WATER VALVE
FS	FIRE SERVICE	PUE	PUBLIC UTILITY EASEMENT	WVSD	WEST VALLEY SANITATION DISTRICT
FT	FEET	PVC	POLYVINYL CHLORIDE	XING	CROSSING
		R	RADIUS		

### GENERAL NOTES

- PROPERTY ADDRESS: 15925 QUAIL HILL ROAD
- PROPERTY OWNER: ALLISON & JOHN DIEP
- ASSESSORS PARCEL NUMBER: 527-02-007
- EXISTING USE: HILLSIDE RESIDENTIAL
- EXISTING ZONING: HR-1
- PROPOSED USE: HILLSIDE RESIDENTIAL
- PROPOSED ZONING: HR-1
- SITE AREA: 40,886 SQ. FT. / 0.94 ACRES
- APPLICANT/DEVELOPER: JOHN & ALLISON DIEP
- CONSULTANTS:
- WATER SUPPLY: SAN JOSE WATER COMPANY
- SANITARY SEWER DISPOSAL: WEST VALLEY SANITATION DISTRICT
- GAS AND ELECTRIC: PACIFIC GAS & ELECTRIC
- TELEPHONE: FRONTIER COMMUNICATIONS
- CABLE: XFINITY
- STORM DRAIN: TOWN OF LOS GATOS
- FIRE PROTECTION: SANTA CLARA COUNTY FIRE DEPARTMENT
- DATUM:
- BASIS OF BEARINGS: THE BEARINGS AND DISTANCES ON THESE PLANS ARE BASED ON THE FOUND MONUMENTS IN THE RECORDED "RECORD OF SURVEY" IN BOOK 7 OF MAPS AT PAGE 29; SANTA CLARA COUNTY RECORDS, ON JUNE 13th, 1956.
- BENCHMARK INFORMATION:  
BENCHMARK ID: LG29  
ORGANIZATION: TOWN OF LOS GATOS  
ELEVATION: 370.93 FEET  
DESCRIPTION: SET BRASS DISK IN MONUMENT WELL STAMPED "LG#29"; INTERSECTION OF SHANNON ROAD AND SHORT ROAD.

TABLE OF PROPOSED EARTHWORK QUANTITIES					
AREA DESCRIPTION	CUT (CY)	MAX CUT HEIGHT (SF)	FILL (CY)	MAX FILL DEPTH (SF)	EXPORT (CY)
HOUSE FOOTPRINT	±631	15.2	0	N/A	±631
CELLAR	N/A				
ATTACHED GARAGE	±1,167	22.3	0	N/A	±1,167
REGRADE OLD BUILDING SITE	±885	8.8	±46	3	±839
DRIVEWAY (WITHIN ROW)	±107	4	0	N/A	±107
DRIVEWAY (ONSITE)	±516	8	±13	2.1	±503
LANDSCAPE / OUTDOOR	±460	8	±30	6	±430
<b>TOTAL</b>	<b>±3,766</b>		<b>±89</b>		<b>±3,677</b>

TABLE OF PROPOSED PERVIOUS AND IMPERVIOUS AREAS				
TOTAL SITE AREA:	TOTAL SITE AREA DISTURBED: 14,701 SF (INCLUDING CLEARING, GRADING OR EXCAVATING)			
40,886 SF	EXISTING AREA (SF)	PROPOSED AREA (SF)		TOTAL AREA POST-PROJECT (SF)
	REPLACED	NEW		
IMPERVIOUS AREA	6,102 SF	6,308 SF	3,776	10,084
TOTAL NEW & REPLACED IMPERVIOUS AREA		9908		
PERVIOUS AREA	34,784			

### NOTE:

WHERE THE FIRM OF HANNA & BRUNETTI DOES NOT PROVIDE CONSTRUCTION STAKES, SAID FIRM WILL ASSUME NO RESPONSIBILITY WHATSOEVER FOR IMPROVEMENTS CONSTRUCTED THEREFROM.

### NOTE TO CONTRACTOR

CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPT FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.

### NOTE:

ADVANCE NOTICE SHALL BE PROVIDED TO NEIGHBORING PROPERTY OWNERS AND SCHOOLS OF HEAVY CONSTRUCTION ACTIVITIES AND HEAVY CONSTRUCTION SHALL NOT START BEFORE 8:30 AM ON DAYS WHEN SCHOOLS ARE IN SESSION. NO CONSTRUCTION IS ALLOWED ON SUNDAYS.

### FLOODZONE STATEMENT

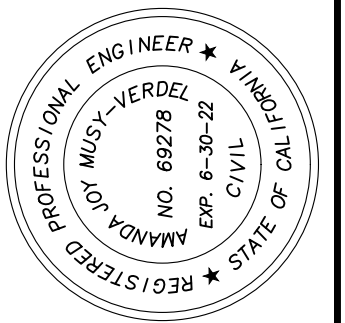
COMMUNITY PANEL NUMBER: 06085C0377H  
MAP REVISED: MAY 18, 2009

PROJECT IS LOCATED IN ZONE X

ZONE X  
AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD.

### TOWN OF LOS GATOS STANDARD GRADING NOTES

- ALL WORK SHALL CONFORM TO CHAPTER 12 OF THE CODE OF THE TOWN OF LOS GATOS, THE ADOPTED CALIFORNIA BUILDING CODE AND THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION EXCEPT AS SPECIFIED OTHERWISE ON THESE PLANS AND DETAILS.
- NO WORK MAY BE STARTED ON-SITE WITHOUT AN APPROVED GRADING PLAN AND A GRADING PERMIT ISSUED BY THE TOWN OF LOS GATOS, PARKS AND PUBLIC WORKS DEPARTMENT LOCATED AT 41 MILES AVENUE, LOS GATOS, CA 95030.
- A PRE-JOB MEETING SHALL BE HELD WITH THE TOWN ENGINEERING INSPECTOR FROM THE PARKS AND PUBLIC WORKS DEPARTMENT PRIOR TO ANY WORK BEING DONE. THE CONTRACTOR SHALL CALL THE INSPECTIONS LINE AT (408) 399-5771 AT LEAST FORTY-EIGHT (48) HOURS PRIOR TO ANY GRADING OR ONSITE WORK. THIS MEETING SHOULD INCLUDE:
  - A DISCUSSION OF THE PROJECT CONDITIONS OF APPROVAL, WORKING HOURS, SITE MAINTENANCE AND OTHER CONSTRUCTION MATTERS;
  - ACKNOWLEDGEMENT IN WRITING THAT CONTRACTOR AND APPLICANT HAVE READ AND UNDERSTAND THE PROJECT CONDITIONS OF APPROVAL, AND WILL MAKE CERTAIN THAT ALL PROJECT SUB-CONTRACTORS HAVE READ AND UNDERSTAND THEM PRIOR TO COMMENCING WORK AND THAT A COPY OF THE PROJECT CONDITIONS OF APPROVAL WILL BE POSTED ON SITE AT ALL TIMES DURING CONSTRUCTION.
- APPROVAL OF PLANS DOES NOT RELEASE THE DEVELOPER OF THE RESPONSIBILITY FOR THE CORRECTION OF MISTAKES, ERRORS, OR OMISSIONS CONTAINED THEREIN. IF, DURING THE COURSE OF CONSTRUCTION OF THE IMPROVEMENTS, PUBLIC INTEREST AND SAFETY REQUIRES A MODIFICATION OR DEPARTURE FROM THE TOWN SPECIFICATIONS OR THESE IMPROVEMENT PLANS, THE TOWN ENGINEER SHALL HAVE FULL AUTHORITY TO REQUIRE SUCH MODIFICATION OR DEPARTURE AND TO SPECIFY THE MANNER IN WHICH THE SAME IS TO BE MADE.
- APPROVAL OF THIS PLAN APPLIES ONLY TO THE GRADING, EXCAVATION, PLACEMENT, AND COMPACTION OF NATURAL EARTH MATERIALS. THIS APPROVAL DOES NOT CONFER ANY RIGHTS OF ENTRY TO EITHER PUBLIC PROPERTY OR THE PRIVATE PROPERTY OF OTHERS AND DOES NOT CONSTITUTE APPROVAL OF ANY OTHER IMPROVEMENTS.
- EXCAVATED MATERIAL SHALL BE PLACED IN THE FILL AREAS DESIGNATED OR SHALL BE HAULED AWAY FROM THE SITE TO BE DISPOSED OF AT APPROVED LOCATION(S).
- IT SHALL BE THE RESPONSIBILITY OF THE PERMITTEE OR CONTRACTOR TO IDENTIFY, LOCATE AND PROTECT ALL UNDERGROUND FACILITIES. PERMITTEE OR CONTRACTOR SHALL NOTIFY USA (UNDERGROUND SERVICE ALERT) AT 1-800-227-2600 A MINIMUM OF FORTY-EIGHT (48) HOURS BUT NOT MORE THAN FOURTEEN (14) DAYS PRIOR TO COMMENCING ALL WORK.
- ALL GRADING SHALL BE PERFORMED IN SUCH A MANNER AS TO COMPLY WITH THE STANDARDS ESTABLISHED BY THE AIR QUALITY MANAGEMENT DISTRICT FOR AIRBORNE PARTICULATES.
- THE CONTRACTOR SHALL COMPLY WITH ALL LOCAL, STATE AND FEDERAL LAWS, CODES, RULES AND REGULATIONS GOVERNING THE WORK IDENTIFIED ON THESE PLANS. THESE SHALL INCLUDE, WITHOUT LIMITATION, SAFETY AND HEALTH RULES AND REGULATIONS ESTABLISHED BY OR PURSUANT TO THE OCCUPATIONAL SAFETY AND HEALTH ACT OR ANY OTHER APPLICABLE PUBLIC AUTHORITY.
- THE GENERAL CONTRACTOR SHALL PROVIDE QUALIFIED SUPERVISION ON THE JOB SITE AT ALL TIMES DURING CONSTRUCTION.
- HORIZONTAL AND VERTICAL CONTROLS SHALL BE SET AND CERTIFIED BY A LICENSED SURVEYOR OR REGISTERED CIVIL ENGINEER QUALIFIED TO PRACTICE LAND SURVEYING, FOR THE FOLLOWING ITEMS:
  - RETAINING WALL: TOP OF WALL ELEVATIONS AND LOCATIONS (ALL WALLS TO BE PERMITTED SEPARATELY AND APPLIED FOR AT THE TOWN OF LOS GATOS BUILDING DIVISION).
  - TOE AND TOP OF CUT AND FILL SLOPES.
- PRIOR TO ISSUANCE OF ANY PERMIT, THE APPLICANT'S SOILS ENGINEER SHALL REVIEW THE FINAL GRADING AND DRAINAGE PLANS TO ENSURE THAT THE FOUNDATIONS, RETAINING WALLS, SITE GRADING, AND SITE DRAINAGE ARE IN ACCORDANCE WITH THEIR RECOMMENDATIONS AND THE PEER REVIEW COMMENTS. THE APPLICANT'S SOILS ENGINEER'S APPROVAL SHALL THEN BE CONVEYED TO THE TOWN EITHER BY LETTER OR BY SIGNING THE PLANS.  
SOILS ENGINEER **POLLAK ENGINEERING, INC.**  
REFERENCE REPORT NO. 1261, DATED 3/28/2018, 20  
LETTER NO. \_\_\_\_\_, DATED \_\_\_\_\_, 20 \_\_\_\_\_, SHALL BE THOROUGHLY COMPLIED WITH, BOTH THE MENTIONED REPORT AND ALL UPDATES/ADDENDUMS/LETTERS ARE HEREBY APPENDED AND MADE A PART OF THIS GRADING PLAN.
- DURING CONSTRUCTION, ALL EXCAVATIONS AND GRADING SHALL BE INSPECTED BY THE APPLICANT'S SOILS ENGINEER. THE ENGINEER SHALL BE NOTIFIED AT LEAST FORTY-EIGHT (48) HOURS BEFORE BEGINNING ANY GRADING. THE ENGINEER SHALL BE ON-SITE TO VERIFY THAT THE ACTUAL CONDITIONS ARE AS ANTICIPATED IN THE DESIGN-LEVEL GEOTECHNICAL REPORT AND/OR PROVIDE APPROPRIATE CHANGES TO THE REPORT RECOMMENDATIONS, AS NECESSARY. ALL UNOBSERVED AND/OR UNAPPROVED GRADING SHALL BE REMOVED AND REPLACED UNDER SOILS ENGINEER OBSERVANCE (THE TOWN INSPECTOR SHALL BE MADE AWARE OF ANY REQUIRED CHANGES PRIOR TO WORK BEING PERFORMED).
- THE RESULTS OF THE CONSTRUCTION OBSERVATION AND TESTING SHOULD BE DOCUMENTED IN AN "AS-BUILT" LETTER/REPORT PREPARED BY THE APPLICANT'S SOILS ENGINEER AND SUBMITTED FOR THE TOWN'S REVIEW AND ACCEPTANCE BEFORE FINAL RELEASE OF ANY OCCUPANCY PERMIT IS GRANTED.
- ALL PRIVATE AND PUBLIC STREETS ACCESSING PROJECT SITE SHALL BE KEPT OPEN AND IN A SAFE, DRIVABLE CONDITION THROUGHOUT CONSTRUCTION. IF TEMPORARY CLOSURE IS NEEDED, THEN FORMAL WRITTEN NOTICE TO THE ADJACENT NEIGHBORS AND THE TOWN OF LOS GATOS PARKS AND PUBLIC WORKS DEPARTMENT SHALL BE PROVIDED AT LEAST ONE (1) WEEK IN ADVANCE OF CLOSURE AND NO CLOSURE SHALL BE GRANTED WITHOUT THE EXPRESS WRITTEN APPROVAL OF THE TOWN. NO MATERIAL OR EQUIPMENT SHALL BE STORED IN THE PUBLIC OR PRIVATE RIGHT-OF-WAY.
- THE CONTRACTOR SHALL INSTALL AND MAINTAIN FENCES, BARRIERS, LIGHTS AND SIGNS THAT ARE NECESSARY TO GIVE ADEQUATE WARNING AND PROTECTION TO THE PUBLIC AT ALL TIMES.
- OWNER/APPLICANT: Allison & John Diep      PHONE: 408 314-8493
- GENERAL CONTRACTOR: \_\_\_\_\_      PHONE: \_\_\_\_\_
- GRADING CONTRACTOR: \_\_\_\_\_      PHONE: \_\_\_\_\_
- CUT: ±3,796 CY      EXPORT: ±3,612 CY  
FILL: ±184 CY



DATE:	JUNE 15, 2020
SCALE:	AS SHOWN
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CHECK:	XX
ENGR:	AM

PLAN FOR THE IMPROVEMENT OF  
**LANDS OF DIEP - 15925 QUAIL HILL DRIVE**  
 APN 527-02-007  
**TOWN NOTES, PROJECT DATA, LEGEND & ABBREVIATIONS**  
 ARCHITECTURAL AND SITE APPLICATION NO. S-19-012  
 PROJECT NO.: 18083

**HANNA BRUNETTI**  
EST. 1988

CIVIL ENGINEERS • LAND SURVEYORS  
CONSTRUCTION MANAGERS

7651 EGLEBERRY STREET • GILROY, CA 95020 • CALIFORNIA  
OFFICE (408) 842-2173 • FAX (408) 842-2662  
EMAIL: ENGINEERING@HANNABRUNETTI.COM

DATE	BY	REVISIONS

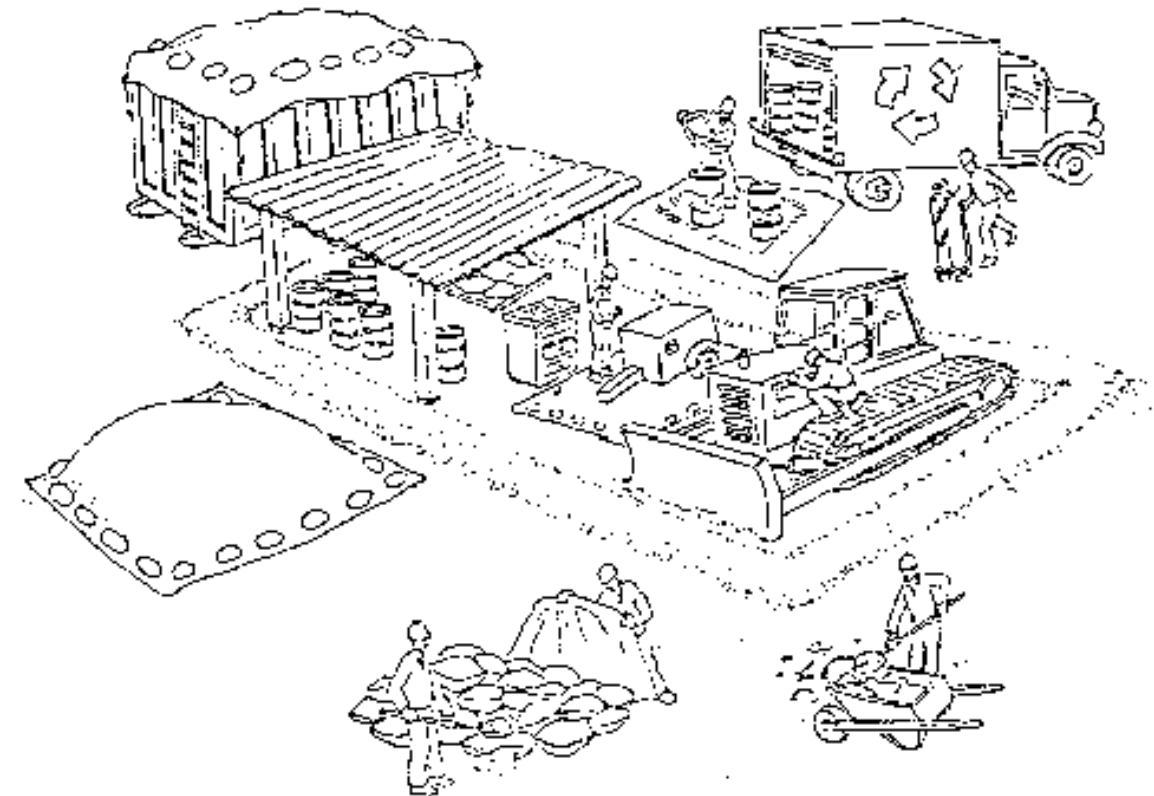
SHEET C.1 of 8



# Pollution Prevention — It's Part of the Plan

## Make sure your crews and subs do the job right!

Runoff from streets and other paved areas is a major source of pollution in San Francisco Bay. Construction activities can directly affect the health of the Bay unless contractors and crews plan ahead to keep dirt, debris, and other construction waste away from storm drains and local creeks. Following these guidelines will ensure your compliance with local ordinance requirements.



### Materials storage & spill cleanup

#### Non-hazardous materials management

- ✓ Sand, dirt, and similar materials must be stored at least 10 feet from catch basins, and covered with a tarp during wet weather or when rain is forecast.
- ✓ Use (but don't overuse) reclaimed water for dust control as needed.
- ✓ Sweep streets and other paved areas daily. Do not wash down streets or work areas with water!
- ✓ Recycle all asphalt, concrete, and aggregate base material from demolition activities.
- ✓ Check dumpsters regularly for leaks and to make sure they don't overflow. Repair or replace leaking dumpsters promptly.

#### Hazardous materials management

- ✓ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, state, and federal regulations.
- ✓ Store hazardous materials and wastes in secondary containment and cover them during wet weather.
- ✓ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ✓ Be sure to arrange for appropriate disposal of all hazardous wastes.

#### Spill prevention and control

- ✓ Keep a stockpile of spill cleanup materials (rags, absorbents, etc.) available at the construction site at all times.
- ✓ When spills or leaks occur, contain them immediately and be particularly careful to prevent leaks and spills from reaching the gutter, street, or storm drain. Never wash spilled material into a gutter, street, storm drain, or creek!
- ✓ Report any hazardous materials spills immediately! Dial 911 or your local emergency response number.

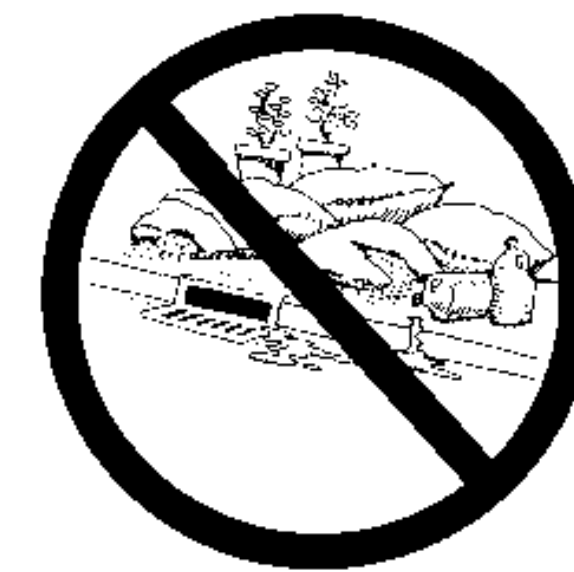
### Vehicle and equipment maintenance & cleaning

- ✓ Inspect vehicles and equipment for leaks frequently. Use drip pans to catch leaks until repairs are made; repair leaks promptly.
- ✓ Fuel and maintain vehicles on site only in a bermed area or over a drip pan that is big enough to prevent runoff.
- ✓ If you must clean vehicles or equipment on site, clean with water only in a bermed area that will not allow rinsewater to run into gutters, streets, storm drains, or creeks.
- ✓ Do not clean vehicles or equipment on-site using soaps, solvents, degreasers, steam cleaning equipment, etc.



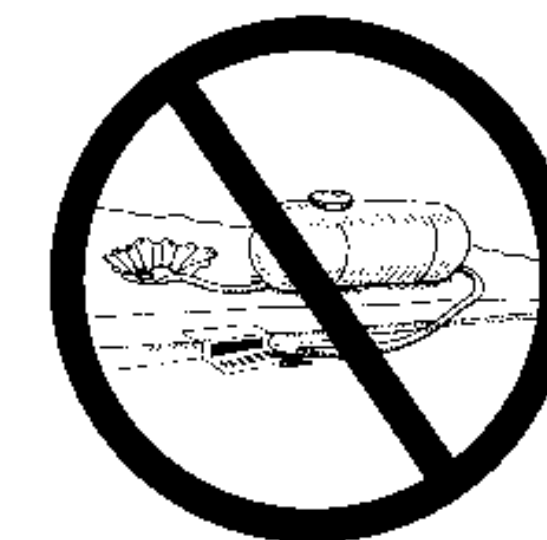
### Earthwork & contaminated soils

- ✓ Keep excavated soil on the site where it is least likely to collect in the street. Transfer to dump trucks should take place on the site, not in the street.
- ✓ Use hay bales, silt fences, or other control measures to minimize the flow of silt off the site.
- ✓ Avoid scheduling earth moving activities during the rainy season if possible. If grading activities during wet weather are allowed in your permit, be sure to implement all control measures necessary to prevent erosion.
- ✓ Mature vegetation is the best form of erosion control. Minimize disturbance to existing vegetation whenever possible.
- ✓ If you disturb a slope during construction, prevent erosion by securing the soil with erosion control fabric, or seed with fast-growing grasses as soon as possible. Place hay bales down-slope until soil is secure.
- ✓ If you suspect contamination (from site history, discoloration, odor, texture, abandoned underground tanks or pipes, or buried debris), call your local fire department for help in determining what testing should be done.
- ✓ Manage disposal of contaminated soil according to Fire Department instructions.



### Dewatering operations

- ✓ Reuse water for dust control, irrigation, or another on-site purpose to the greatest extent possible.
- ✓ Be sure to call your city's storm drain inspector before discharging water to a street, gutter, or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ✓ In areas of known contamination, testing is required prior to reuse or discharge of groundwater. Consult with the city inspector to determine what testing to do and to interpret results. Contaminated groundwater must be treated or hauled off-site for proper disposal.



### Saw cutting

- ✓ Always completely cover or barricade storm drain inlets when saw cutting. Use filter fabric, hay bales, sand bags, or fine gravel dams to keep slurry out of the storm drain system.
- ✓ Shovel, absorb, or vacuum saw-cut slurry and pick up all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner).
- ✓ If saw cut slurry enters a catch basin, clean it up immediately.

### Concrete, grout, and mortar storage & waste disposal

- ✓ Be sure to store concrete, grout, and mortar under cover and away from drainage areas. These materials must never reach a storm drain.
- ✓ Wash out concrete equipment/trucks off-site or designate an on-site area for washing where water will flow on to dirt or into a temporary pit in a dirt area. Let the water seep into the soil and dispose of hardened concrete with trash.
- ✓ Divert water from washing exposed aggregate concrete to a dirt area where it will not run into a gutter, street, or storm drain.
- ✓ If a suitable dirt area is not available, collect the wash water and remove it for appropriate disposal off site.



### Paving/asphalt work

- ✓ Do not pave during wet weather or when rain is forecast.
- ✓ Always cover storm drain inlets and manholes when paving or applying seal coat, tack coat, slurry seal, or fog seal.
- ✓ Place drip pans or absorbent material under paving equipment when not in use.
- ✓ Protect gutters, ditches, and drainage courses with hay bales, sand bags, or earthen berms.
- ✓ Do not sweep or wash down excess sand from sand sealing into gutters, storm drains, or creeks. Collect sand and return it to the stockpile, or dispose of it as trash.
- ✓ Do not use water to wash down fresh asphalt concrete pavement.



### Painting

- ✓ Never rinse paint brushes or materials in a gutter or street!
- ✓ Paint out excess water-based paint before rinsing brushes, rollers, or containers in a sink. If you can't use a sink, direct wash water to a dirt area and spade it in.
- ✓ Paint out excess oil-based paint before cleaning brushes in thinner.
- ✓ Filter paint thinners and solvents for reuse whenever possible. Dispose of oil-based paint sludge and unusable thinner as hazardous waste.





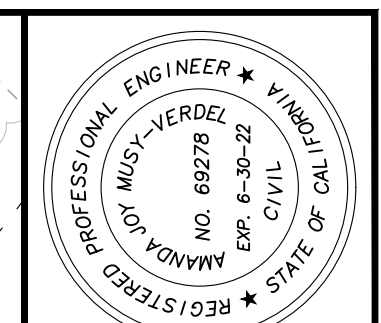
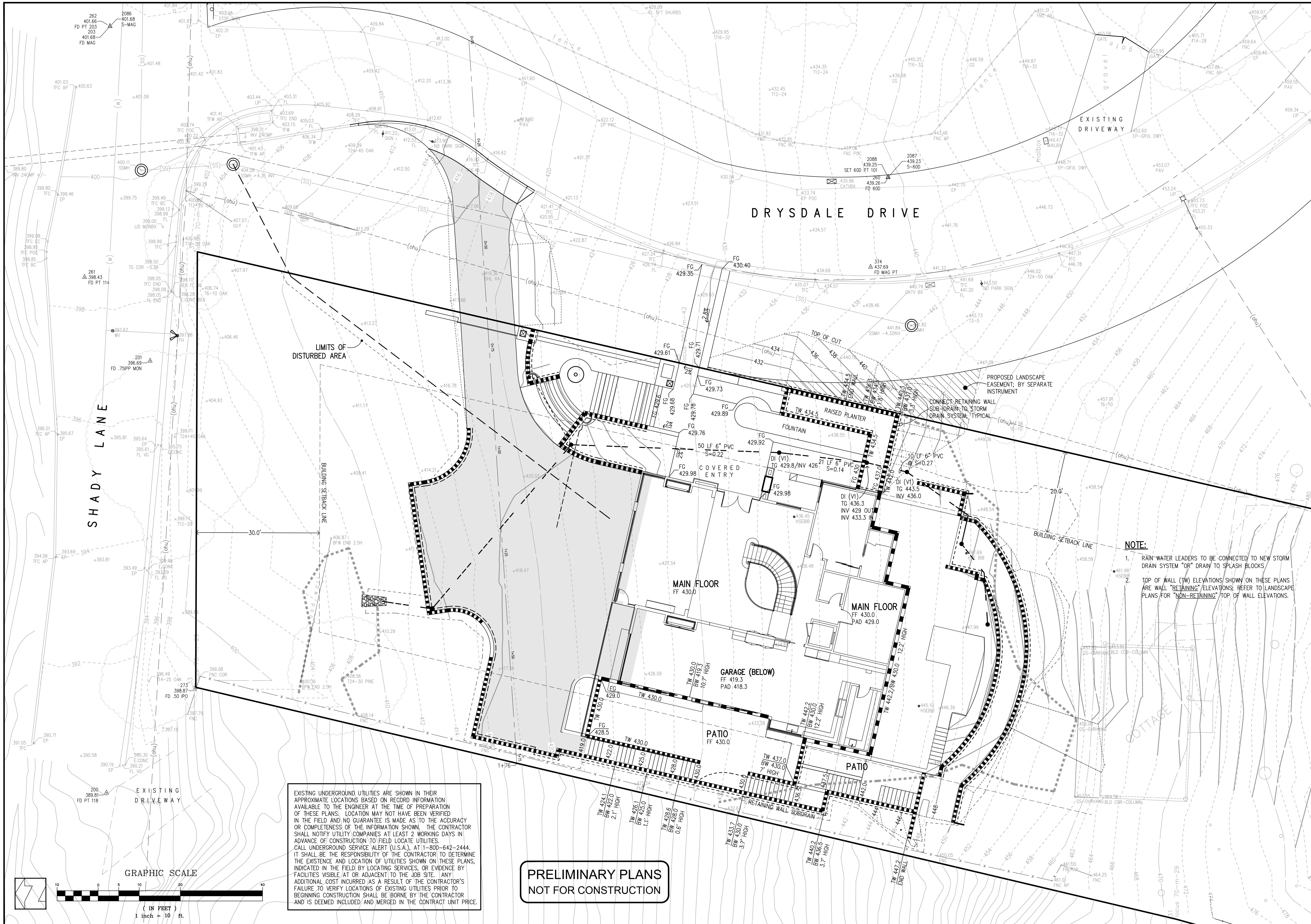








CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF ALL UTILITIES, INCLUDING BUT NOT LIMITED TO, WATER, SEWER, GAS, AND TELEPHONE LINES, AND SHALL BE RESPONSIBLE FOR THE PERFORMANCE OF WORK ON THIS PROJECT, ACCEPTING FULL LIABILITY TO THE OWNER FOR THE ENGINEER'S PROFESSIONAL OPINION.



DATE: JUNE 15, 2020  
 SCALE: AS SHOWN  
 DESIGN: AM  
 DRAWN: TM  
 CHECK: XX  
 ENGR: AM  
 PROJECT NO.: 18083

PLAN FOR THE IMPROVEMENT OF  
**LANDS OF DIEP - 15925 QUAIL HILL DRIVE**  
**GRADING & DRAINAGE PLAN**  
 ARCHITECTURAL AND SITE APPLICATION NO. S-19-012  
 TOWN OF LOS GATOS  
 PARKS AND PUBLIC WORKS DEPARTMENT

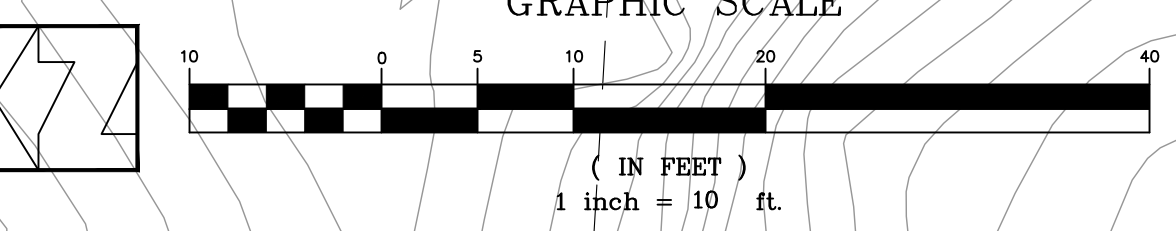
**HANNA BRUNETTI**  
 CIVIL ENGINEERS • LAND SURVEYORS  
 CONSTRUCTION MANAGERS  
 7851 EGGLEBERRY STREET • GILROY • 95020 • CALIFORNIA  
 OFFICE (408) 842-2173 • FAX (408) 842-2662  
 EMAIL: ENGINEERING@HANNABRUNETTI.COM

REVISIONS	DATE

SHEET C.5 OF 8  
 HB JOB NO. 18083

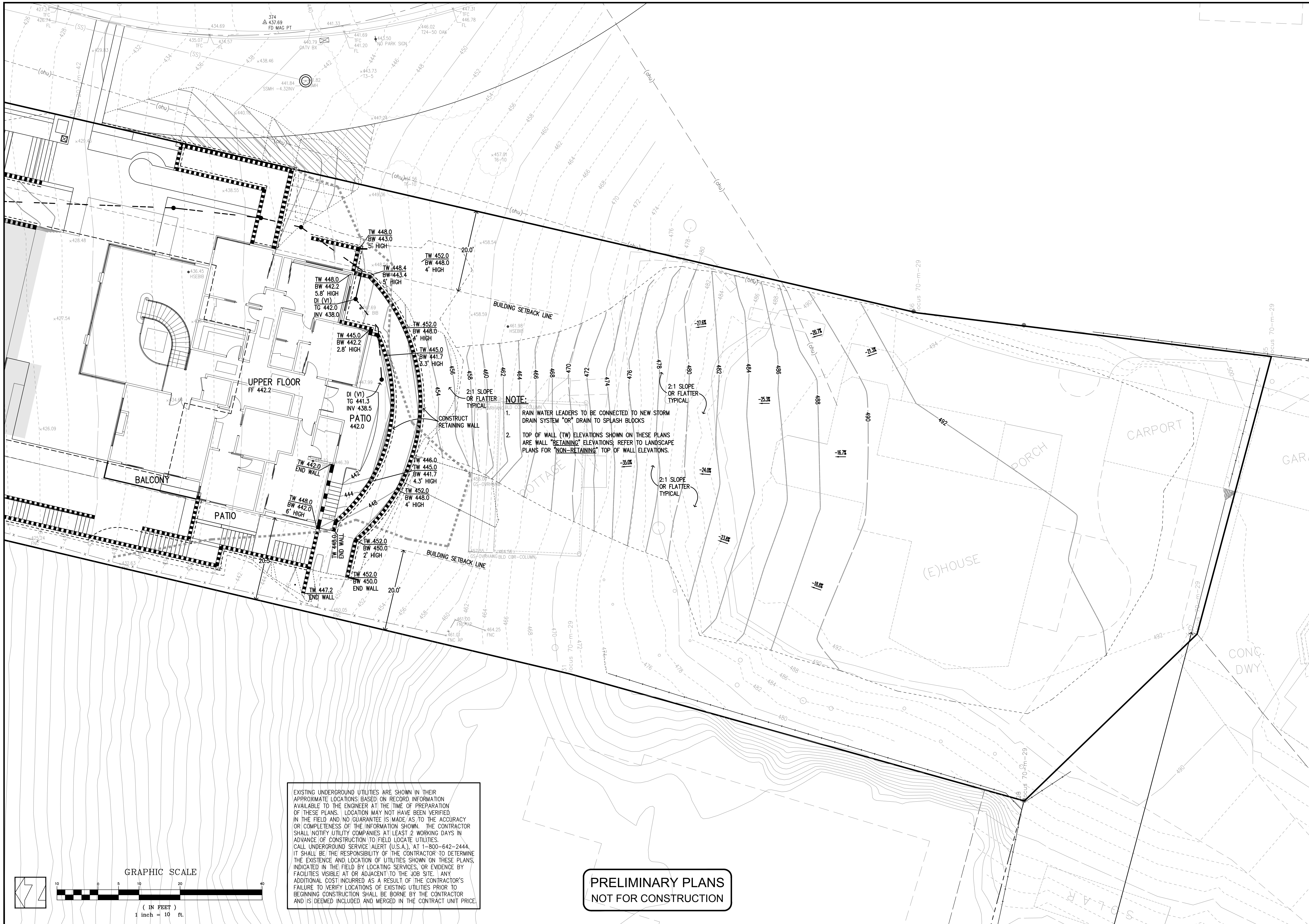
EXISTING UNDERGROUND UTILITIES ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED ON RECORD INFORMATION AVAILABLE TO THE ENGINEER AT THE TIME OF PREPARATION OF THESE PLANS. LOCATION MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE AS TO THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. THE CONTRACTOR SHALL NOTIFY UTILITY COMPANIES AT LEAST 2 WORKING DAYS IN ADVANCE OF CONSTRUCTION TO FIELD LOCATE UTILITIES. CALL UNDERGROUND SERVICE ALERT (U.S.A.), AT 1-800-642-2444. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND LOCATION OF UTILITIES SHOWN ON THESE PLANS, INDICATED IN THE FIELD BY LOCATING SERVICES, OR EVIDENCE BY FACILITIES VISIBLE AT OR ADJACENT TO THE JOB SITE. ANY ADDITIONAL COST INCURRED AS A RESULT OF THE CONTRACTOR'S FAILURE TO VERIFY LOCATIONS OF EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION SHALL BE BORNE BY THE CONTRACTOR AND IS DEEMED INCLUDED AND MERGED IN THE CONTRACT UNIT PRICE.

**PRELIMINARY PLANS  
 NOT FOR CONSTRUCTION**





CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, RISK OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPT FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE ENGINEER.

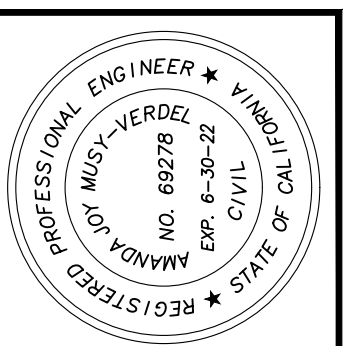
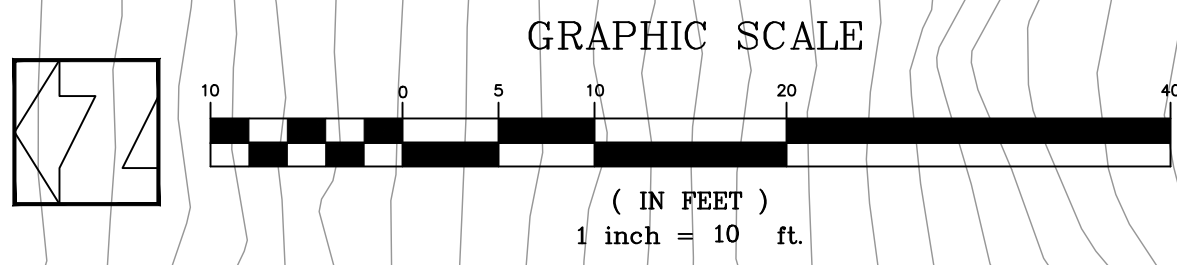


**NOTE:**

1. RAIN WATER LEADERS TO BE CONNECTED TO NEW STORM DRAIN SYSTEM "OR" DRAIN TO SPLASH BLOCKS
2. TOP OF WALL (TW) ELEVATIONS SHOWN ON THESE PLANS ARE WALL "RETAINING" ELEVATIONS; REFER TO LANDSCAPE PLANS FOR "NON-RETAINING" TOP OF WALL ELEVATIONS.

EXISTING UNDERGROUND UTILITIES ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED ON RECORD INFORMATION AVAILABLE TO THE ENGINEER AT THE TIME OF PREPARATION OF THESE PLANS. LOCATION MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE AS TO THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. THE CONTRACTOR SHALL NOTIFY UTILITY COMPANIES AT LEAST 2 WORKING DAYS IN ADVANCE OF CONSTRUCTION TO FIELD LOCATE UTILITIES. CALL UNDERGROUND SERVICE ALERT (U.S.A.) AT 1-800-642-2444. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND LOCATION OF UTILITIES SHOWN ON THESE PLANS, INDICATED IN THE FIELD BY LOCATING SERVICES, OR EVIDENCE BY FACILITIES VISIBLE AT OR ADJACENT TO THE JOB SITE. ANY ADDITIONAL COST INCURRED AS A RESULT OF THE CONTRACTOR'S FAILURE TO VERIFY LOCATIONS OF EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION SHALL BE BORNE BY THE CONTRACTOR AND IS DEEMED INCLUDED AND MERGED IN THE CONTRACT UNIT PRICE.

**PRELIMINARY PLANS  
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PLAN FOR THE IMPROVEMENT OF  
**LANDS OF DIEP - 15925 QUAIL HILL DRIVE**  
**GRADING & DRAINAGE PLAN**  
 ARCHITECTURAL AND SITE APPLICATION NO. S-19-012

TOWN OF LOS GATOS  
 PARKS AND PUBLIC WORKS DEPARTMENT

**HANNA BRUNETTI**  
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REVISIONS	DATE





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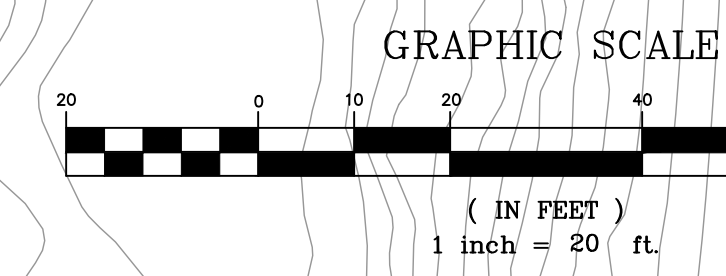


- EROSION CONTROL NOTES**
- EROSION CONTROL MEASURES SHALL BE EFFECTIVE FOR CONSTRUCTION DURING THE RAINY SEASON; OCTOBER 15 THROUGH APRIL 15.
  - NO STORM WATER RUNOFF SHALL BE ALLOWED TO DRAIN INTO THE EXISTING AND/OR PROPOSED UNDERGROUND STORM SYSTEM UNTIL SUITABLE EROSION CONTROL MEASURES ARE FULLY IMPLEMENTED. NO STORM WATER RUNOFF SHALL BE ALLOWED TO ENTER THE STORM DRAIN SYSTEM THAT IS NOT CLEAR, AND FREE OF SILTS.
  - A FIBER ROLL PER "FIBER ROLL DETAIL SE-5" SHALL BE INSTALL ALONG THE PERIMETER OF THE PROJECT SITE. THE LOCATION OF THE FIBER ROLL ALONG THE PERIMETER SHALL BE ADJUSTED TO ELIMINATE SEDIMENT LADEN RUNOFF FROM LEAVING THE SITE. A FIBER ROLL SHALL ALSO BE REQUIRED AROUND THE PERIMETER OF ANY STOCKPILE OR OTHER SITE OF BARE, LOOSE EARTH.
  - ALL STORM DRAIN MANHOLES, CATCH BASINS, AND/OR DROP INLETS THAT ARE TO ACCEPT STORM WATER SHALL HAVE INLET PROTECTION MEASURES PER DETAIL SE-10. STORM WATER RUNOFF SHALL BE DIRECTED TO THESE INLETS ONLY. STORM DRAIN CATCH BASINS THAT ARE NOT COMPLETE, SHALL BE BLOCKED OFF COMPLETELY.
  - THE NAME, ADDRESS, AND 24 HOUR TELEPHONE NUMBER OF THE PERSON RESPONSIBLE FOR THE IMPLEMENTATION OF THE EROSION CONTROL PLAN SHALL BE PROVIDED TO THE CITY.
  - PRIOR TO GRADING, AN ENTRANCE SHALL BE CONSTRUCTED, CONSISTING OF A MINIMUM OF 50 LF OF DRAIN ROCK, 3" IN DIAMETER, PLACED OVER MIRAFI 500X (OR EQUAL) PER DETAIL TC-1. THE ENTRANCE SHALL CONFORM TO "CONSTRUCTION ENTRANCE DETAIL TC-1". THERE SHALL BE ONLY ONE ENTRANCE/EXIT POINT TO THE SITE DURING THE RAINY SEASON. THE LOCATION SHALL BE AS SHOWN ON THESE PLANS, OR AT A LOCATION APPROVED BY THE CITY.
  - ALL AREAS OF BARE, TURNED OR DISTURBED EARTH SHALL BE STABILIZED BY USE OF HYDROSEED OR NON-VEGETATIVE STABILIZATION PER EC-16, PER THE TABLE BELOW. ALL STOCKPILES, AND/OR BORROW AREAS SHALL BE PROTECTED WITH APPROPRIATE EROSION CONTROL MEASURES SUCH AS A PERIMETER SILT FENCE, AND OTHER METHODS TO PREVENT ANY EROSION OR SILTS MIGRATION. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL DISTURBED AREAS ARE STABILIZED. CHANGES TO THE EROSION CONTROL PLAN SHALL BE MADE TO MEET FIELD CONDITIONS, BUT ONLY WITH THE APPROVAL OF, OR AT THE DIRECTION OF THE OSD. THE STORM DRAIN SYSTEM SHALL MAINTAIN A FORM OF DRAIN INLET PROTECTION UNTIL CITY ACCEPTS THE FINAL STREET IMPROVEMENTS. THE DRAIN INLET PROTECTION SHALL BE MAINTAINED, EFFECTIVE AND SUBJECT TO CITY ENGINEER'S APPROVAL.
  - ALL PAVED STREET, AND AREAS ADJACENT TO THE SITE SHALL BE KEPT CLEAR OF EARTH MATERIALS AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO ELIMINATE SEDIMENT LADEN RUNOFF FROM ENTERING THE STORM DRAIN SYSTEM.
  - IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO INSPECT AND REPAIR ALL EROSION CONTROL FACILITIES AT THE END OF EACH DAY. ANY DAMAGED STRUCTURAL MEASURES ARE TO BE REPAIRED BY END OF THE DAY. TRAPPED SEDIMENT IN "SD INLETS" (AND OTHER EROSION CONTROL MEASURES) SHALL BE REMOVED TO MAINTAIN TRAP EFFICIENCY. REMOVED SEDIMENT SHALL BE DISPOSED BY SPREADING ON SITE, WHERE IT WILL NOT MIGRATE.
  - IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PREVENT THE FORMATION OF AIRBORNE DUST NUISANCE AND SHALL BE RESPONSIBLE FOR ANY DAMAGE RESULTING FROM A FAILURE TO DO SO.
  - ALL DRAIN SWALES SHALL BE PER DETAIL EC-9.
  - INCOMPLETE GRADING SHALL NOT BE ALLOWED. CONTRACTOR SHALL MAINTAIN A DRAIN PATH AS SHOWN ON THIS PLAN. SAID DRAIN PATH SHALL BE MAINTAINED LINED DRAIN SWALES, AND INLET PROTECTION AT A MINIMUM. IF PONDING DOES OCCUR ON THE SITE AFTER GRADING, THE WATER MUST BE FREE AND CLEAR OF SEDIMENT PRIOR TO DISCHARGE TO THE STORM DRAIN SYSTEM. THIS REQUIREMENT MAY NECESSITATE THE USE OF NATURAL AND/OR MECHANICAL DESILTING METHODS, SUBJECT TO APPROVAL BY THE CITY ENGINEER.
  - IF THESE EROSION CONTROL MEASURE PROVE INADEQUATE, STRAW MULCH, TACKIFIER, AND ADDITIONAL HYDROSEEDING MAY BE REQUIRED.

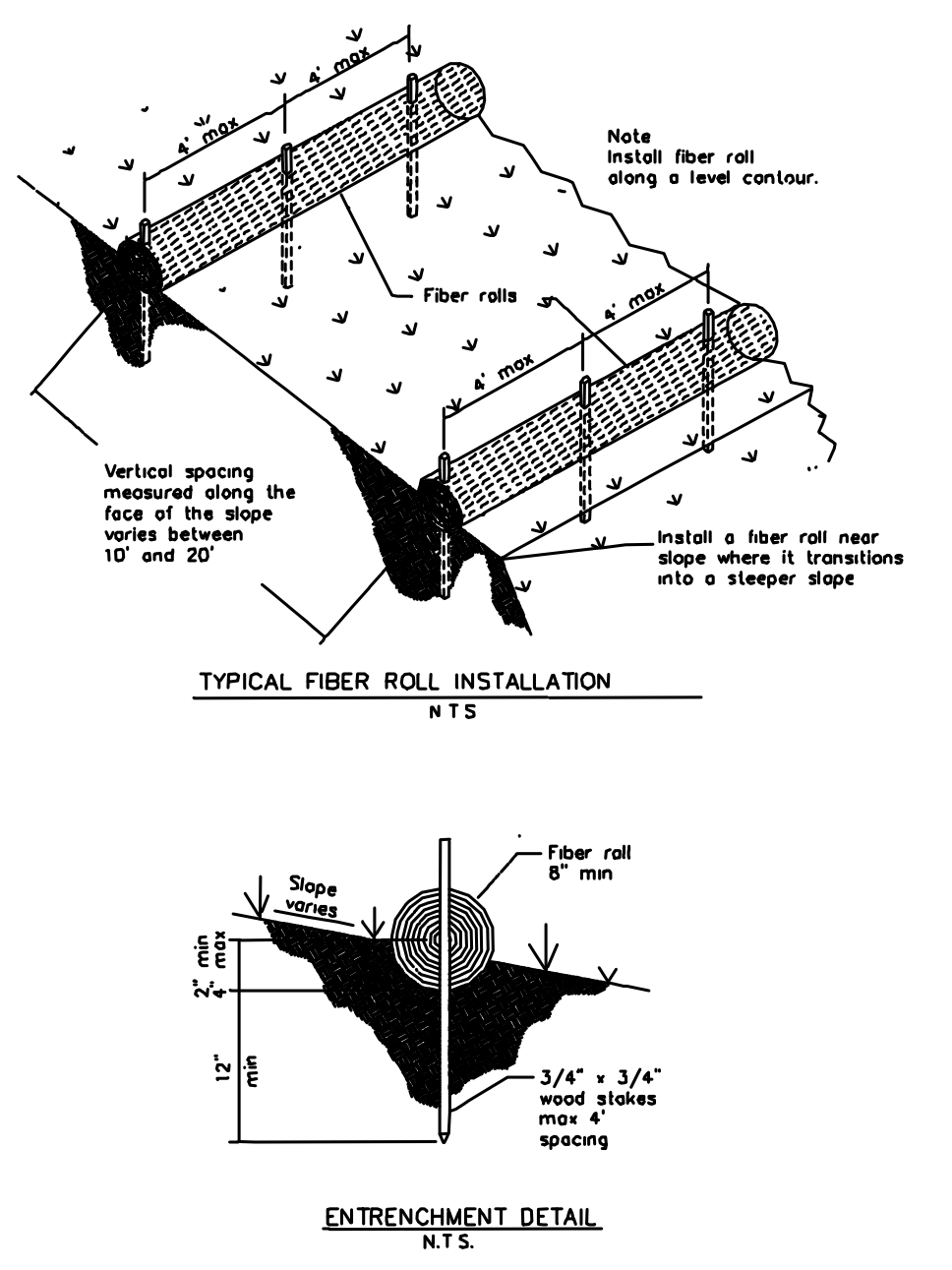
**HYDROSEED TABLE**

ITEM	LBS/ACRE
COMMON BARLEY	45
ANNUAL RYEGRASS	45
CRIMSON CLOVER	10
FERTILIZER 7-2-3	400
FIBER MULCH	2000
TACKIFIER	100

- LEGEND**
- CONSTRUCTION ENTRANCE/EXIT PER DETAIL TC-1
  - FIBER ROLL BARRIER PER DETAIL SE-5
  - STORM DRAIN INLET PROTECTION PER DETAIL SE-10
  - SILT FENCE BARRIER PER DETAIL SE-1 AROUND PERIMETER OF PROJECT SITE



**SE-5 Fiber Rolls**



PROJECT SIZE	CRUSHED ROCK	ATB
≤ 1/4 ACRE	30	0
≤ 1 ACRE	50	0
< 3 ACRE	100	0
> 3 ACRE	100	50

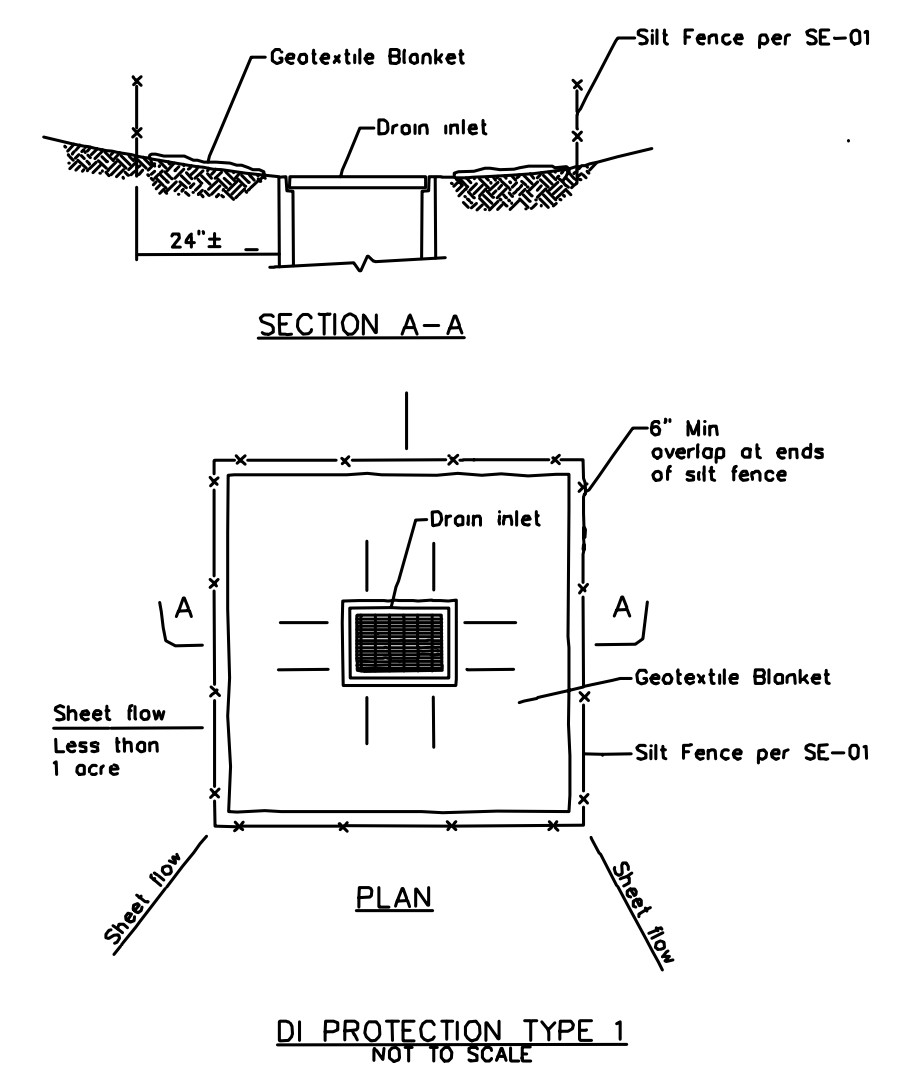
**NOTES:**

- SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE DIPPED ACROSS THE ENTRANCE IF PIPING IS IMPRACTICAL, A MOUNTAINABLE BERM WITH 6:1 SLOPES WILL BE PERMITTED.
- MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED IMMEDIATELY.
- WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY. WHEN WASHING IS USED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
- PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

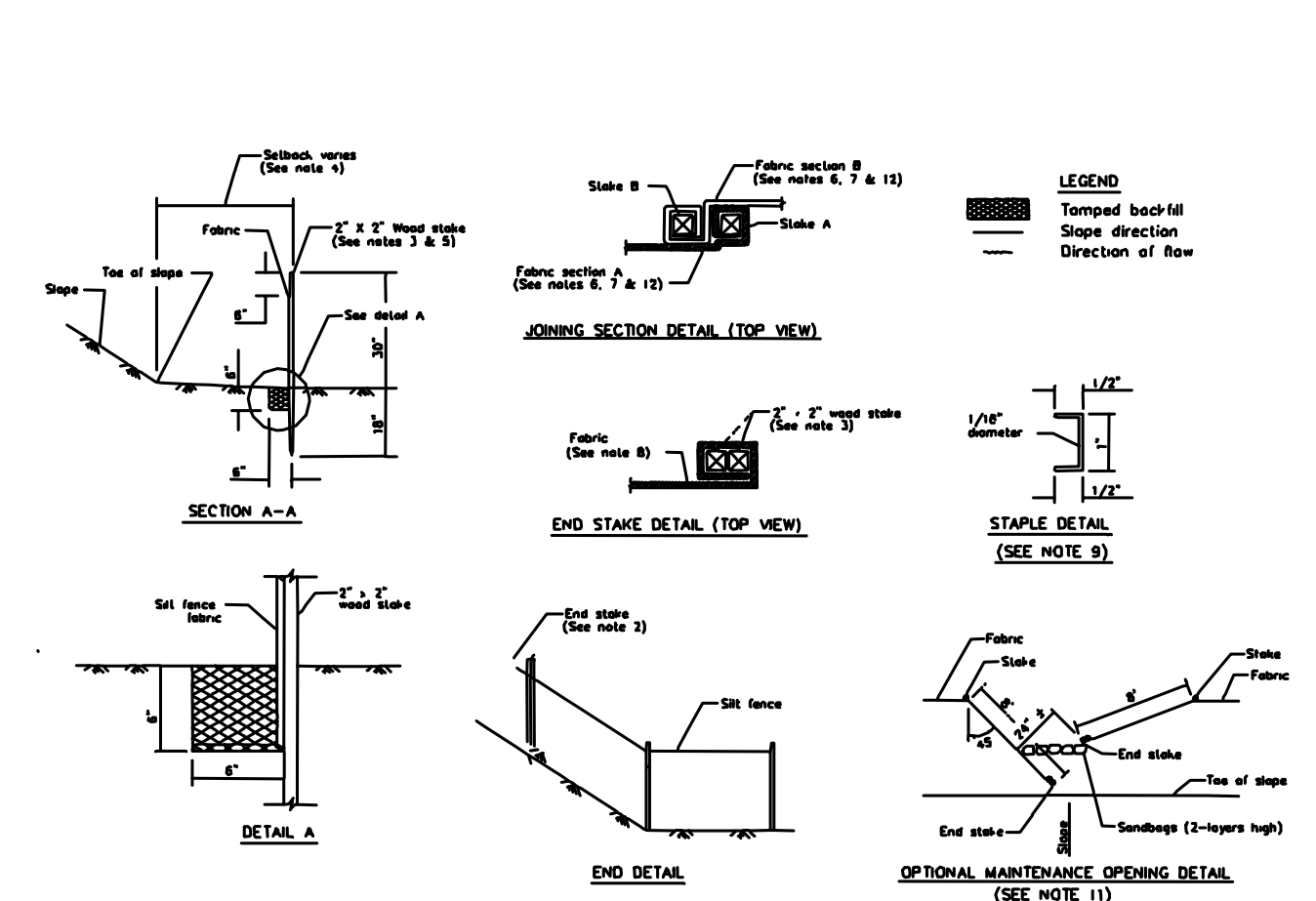
APPROVED BY: [Signature] DATE: NOVEMBER 2010  
TOWN ENGINEER

**STABILIZED CONSTRUCTION ENTRANCE**  
STD. PLAN NO. ST-250

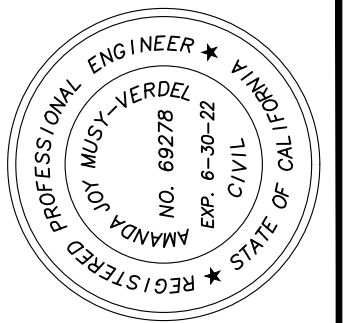
**SE-10 Storm Drain Inlet Protection**



- NOTES**
- For use in areas where grading has been completed and final soil stabilization and seeding are pending.
  - Not applicable in paved areas.
  - Not applicable with concentrated flows.



**PRELIMINARY PLANS**  
NOT FOR CONSTRUCTION



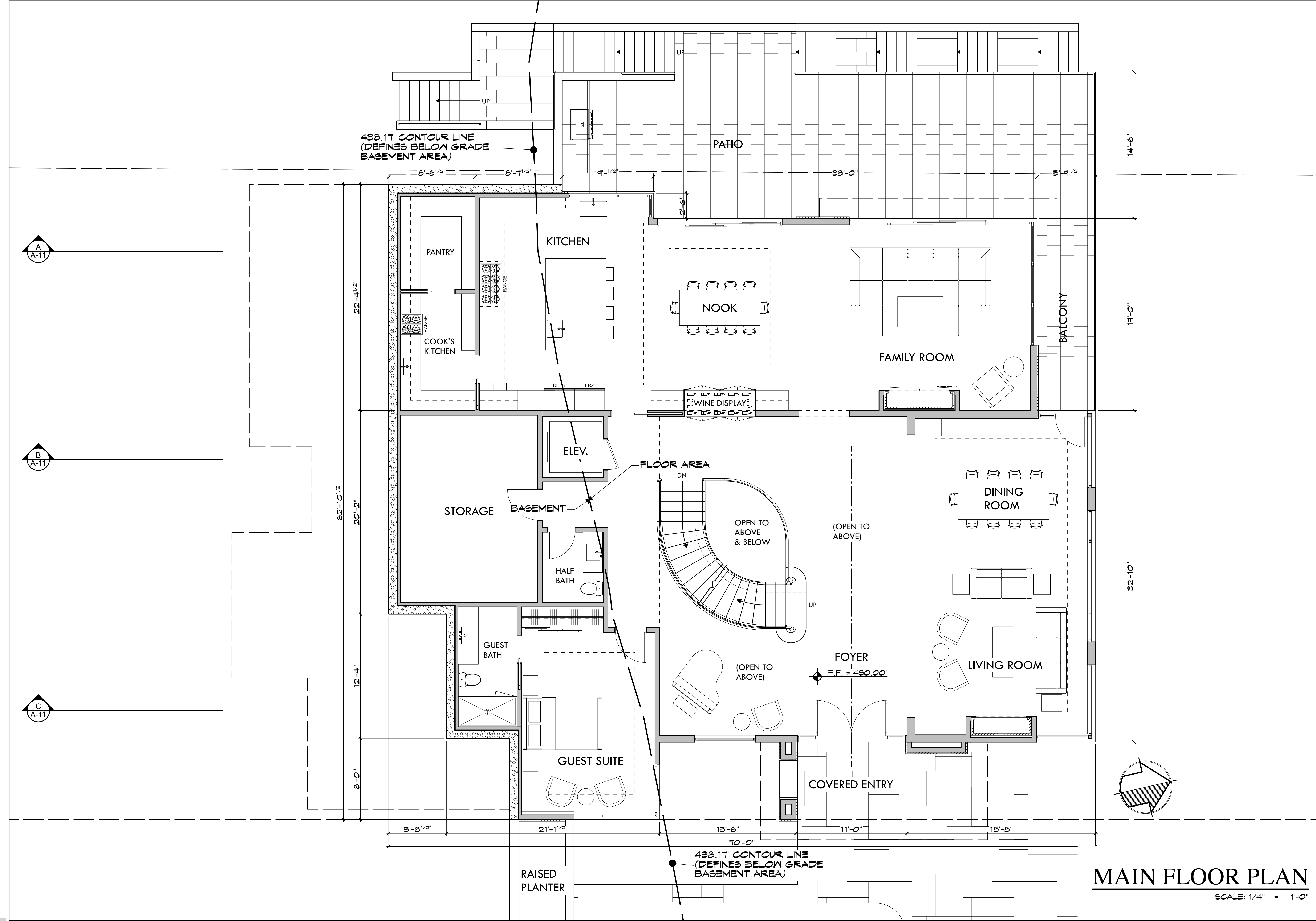
DATE:	JUNE 15, 2020
SCALE:	AS SHOWN
DESIGN:	AM
DRAWN:	TM
CHECK:	XX
ENGR:	AM

PLAN FOR THE IMPROVEMENT OF  
**LANDS OF DIEP - 10 DRYSDALE DRIVE**  
**EROSION CONTROL PLAN**  
ARCHITECTURAL AND SITE APPLICATION NO. S-19-012

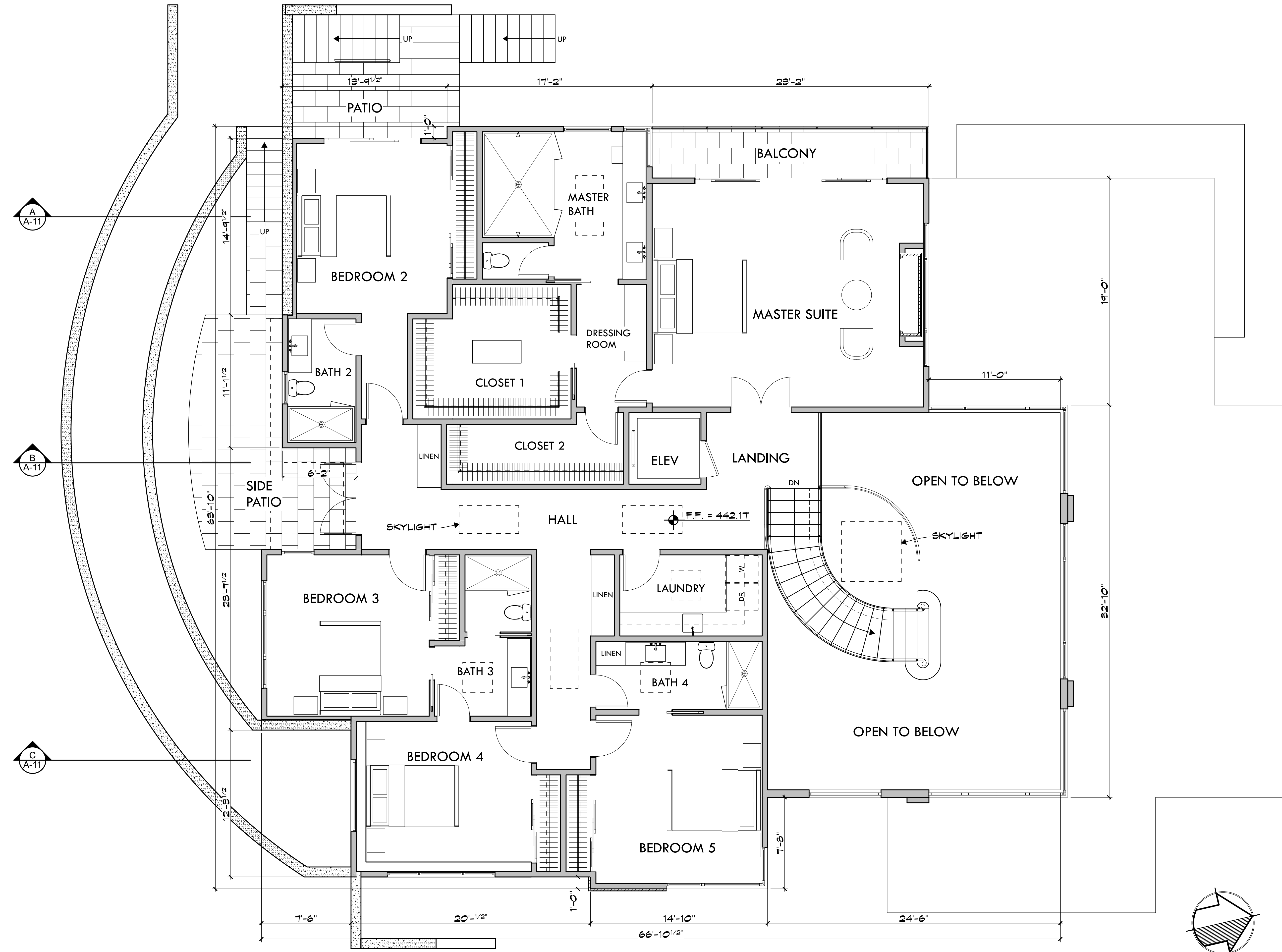
TOWN OF LOS GATOS  
PARKS AND PUBLIC WORKS DEPARTMENT  
PROJECT NO.: 18083

**HANNA BRUNETTI**  
REGISTERED PROFESSIONAL ENGINEER  
CIVIL ENGINEERS • LAND SURVEYORS  
CONSTRUCTION MANAGERS  
7651 EGGLEBERRY STREET • GILROY, CA 95020 • CALIFORNIA  
OFFICE (408) 842-2173 • FAX (408) 842-2662  
EMAIL: ENGINEERING@HANNABRUNETTI.COM

REVISIONS	DATE

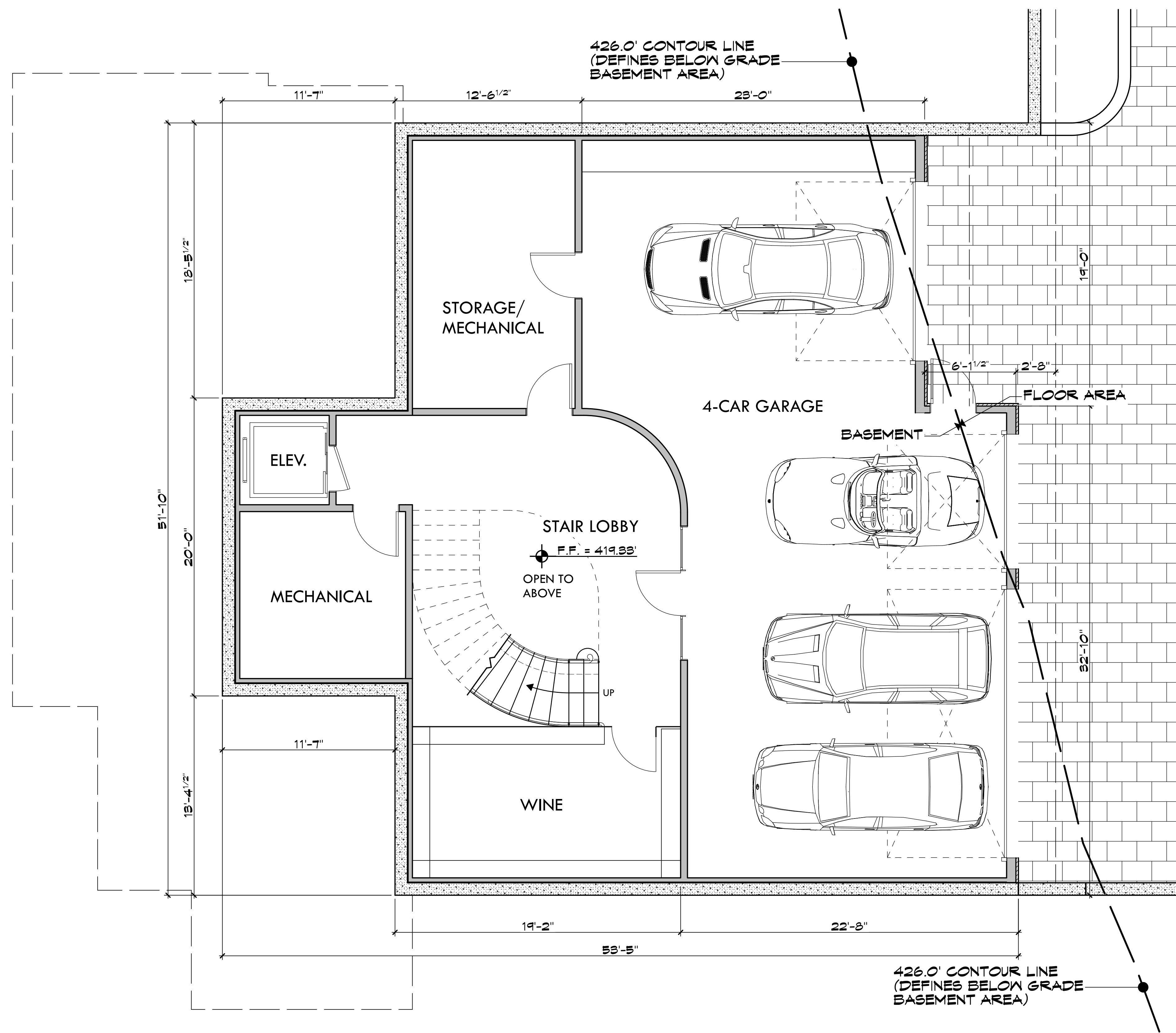
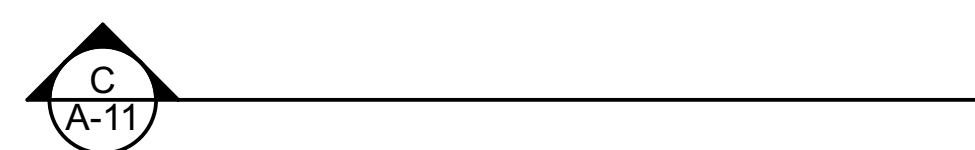
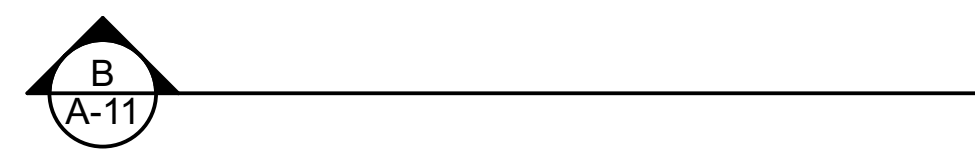
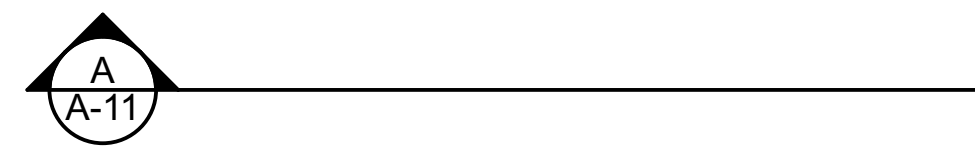


**MAIN FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

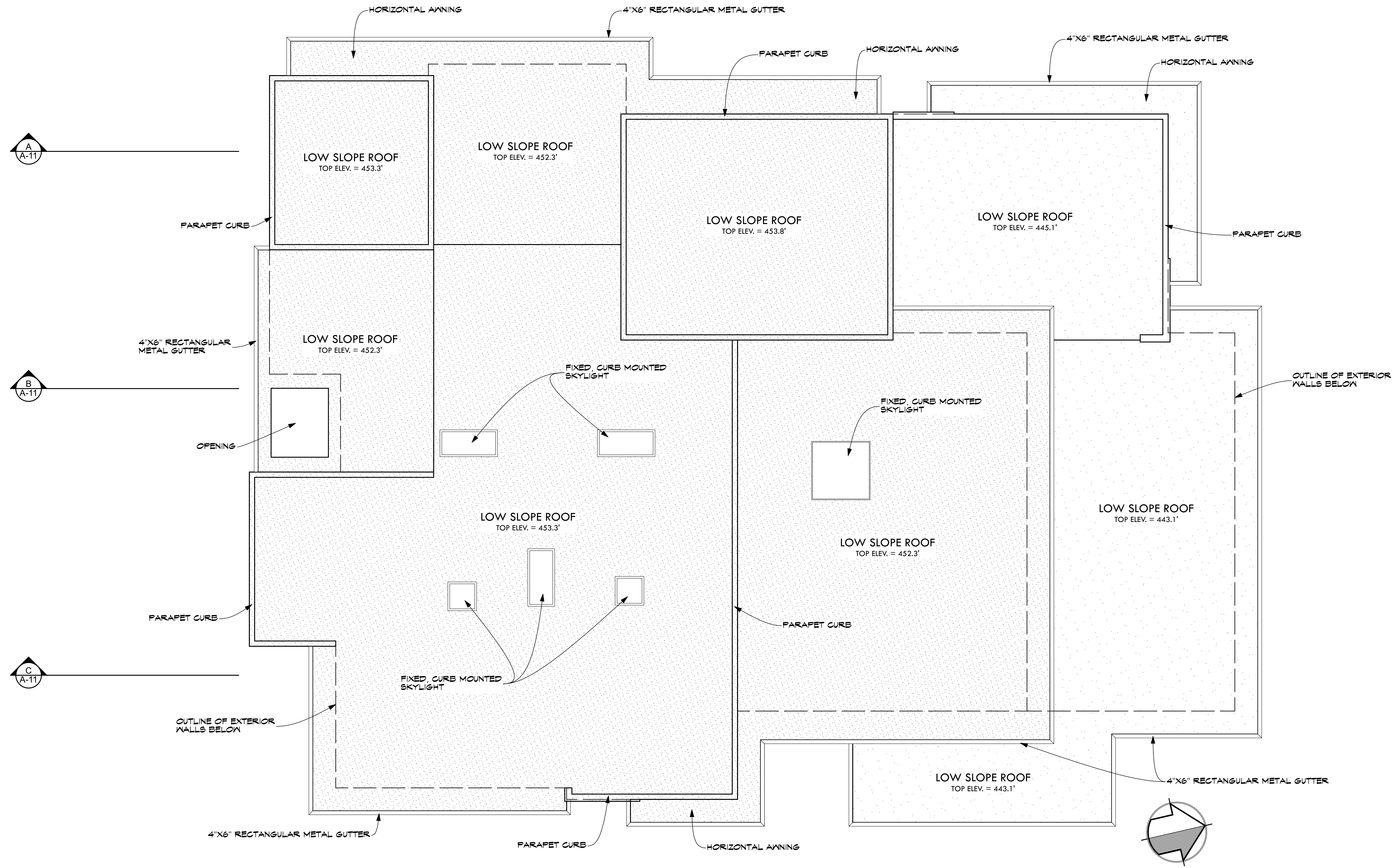


**SECOND FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



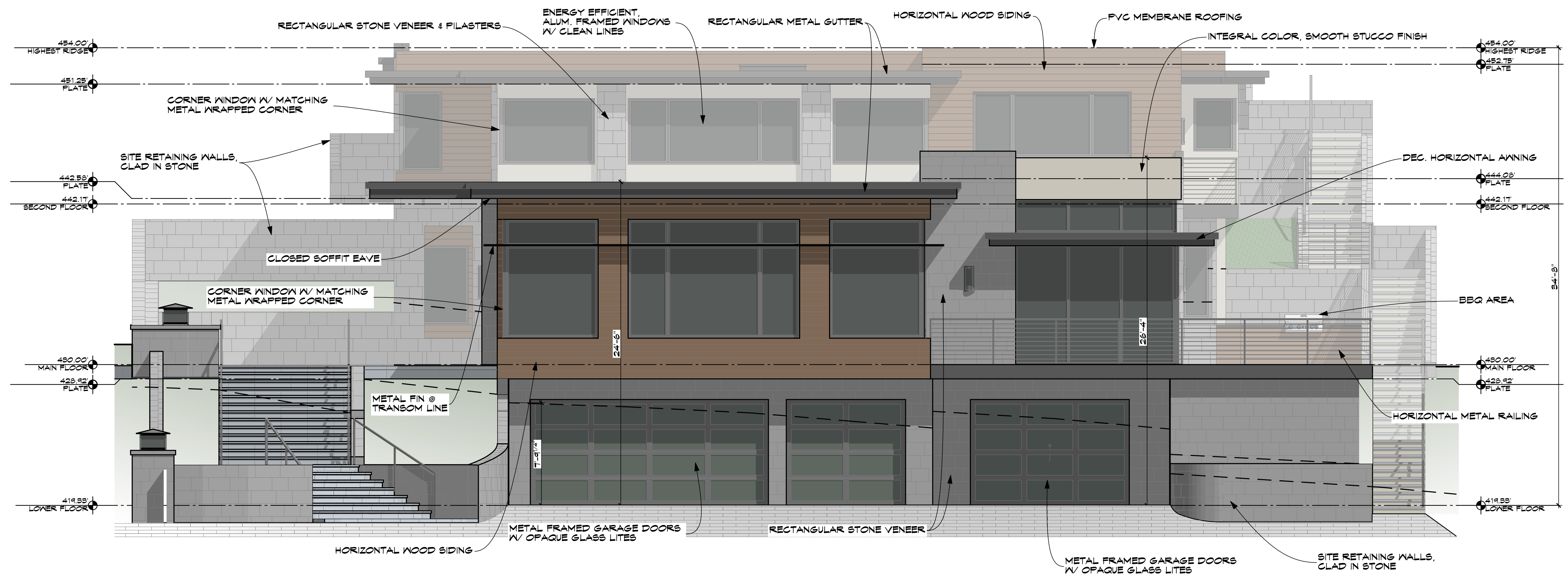


**LOWER FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



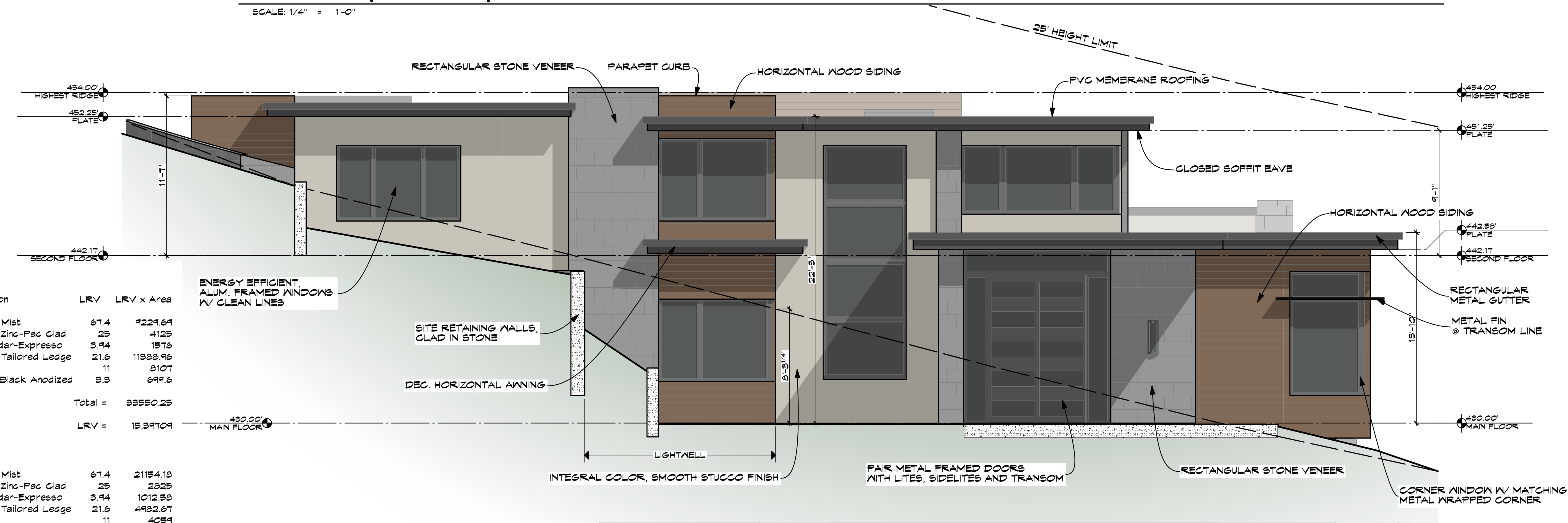
**ROOF PLAN**  
SCALE: 1/4" = 1'-0"





**FRONT (NORTH) ELEVATION**

SCALE: 1/4" = 1'-0"



**LEFT (EAST) ELEVATION**

SCALE: 1/4" = 1'-0"

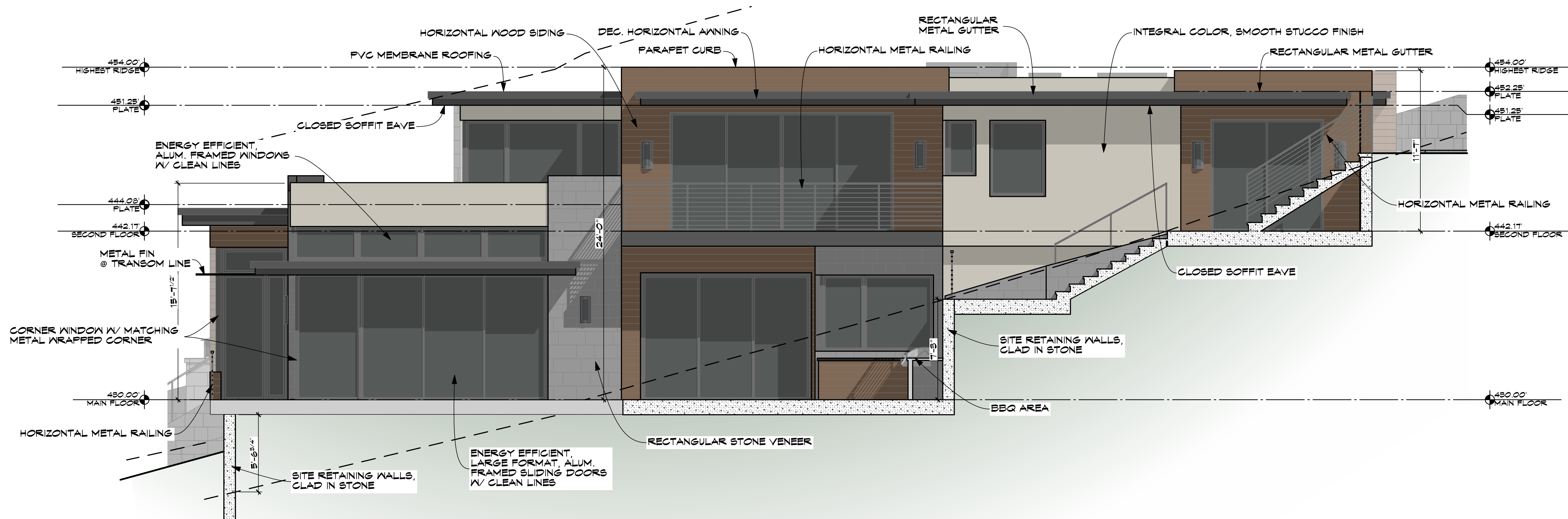
**Front Elevation**

Material	Area	Specification	LRV	LRV x Area
Stucco	137	EM-Balboa Mist	67.4	9229.69
Fascia & Gutters	165	Weathered Zinc-Pac Clad	25	4125
Wood Siding	400	Stained Cedar-Expresso	3.94	1576
Stone Veneer	523	Earthwood Tailored Ledge	21.6	11333.96
Glass	737		11	8107
D/W Frames	212	Fleetwood-Black Anodized	3.3	699.6
<b>Total =</b>	<b>2179</b>		<b>Total =</b>	<b>33550.25</b>
			LRV =	15.39709

**Left Elevation**

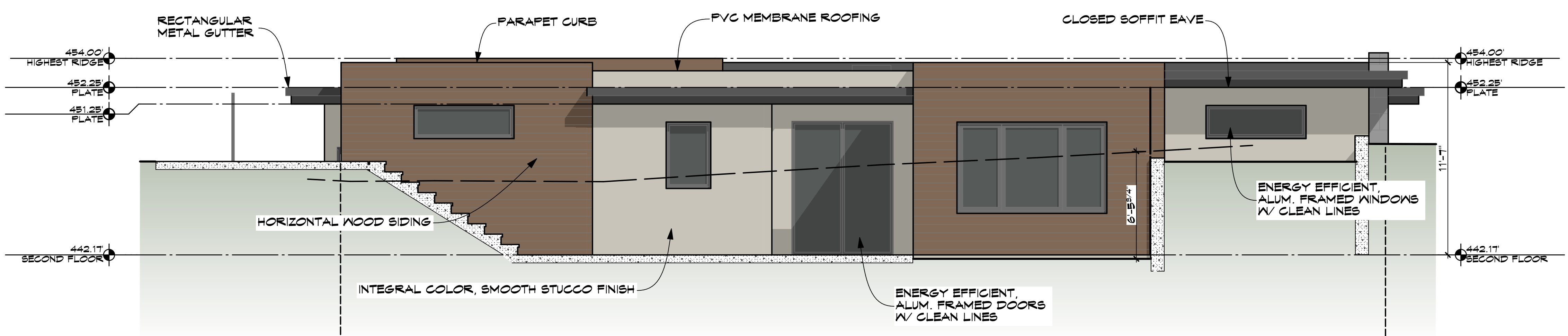
Material	Area	Specification	LRV	LRV x Area
Stucco	314	EM-Balboa Mist	67.4	21154.13
Fascia & Gutters	113	Weathered Zinc-Pac Clad	25	2825
Wood Siding	257	Stained Cedar-Expresso	3.94	1012.53
Stone Veneer	231	Earthwood Tailored Ledge	21.6	4982.67
Glass	369		11	4059
D/W Frames	127	Fleetwood-Black Anodized	3.3	419.1
<b>Total =</b>	<b>1411</b>		<b>Total =</b>	<b>34452.53</b>
			LRV =	24.4171





**RIGHT (WEST) ELEVATION**

SCALE: 1/4" = 1'-0"



**REAR (SOUTH) ELEVATION**

SCALE: 1/4" = 1'-0"

**Right Elevation**

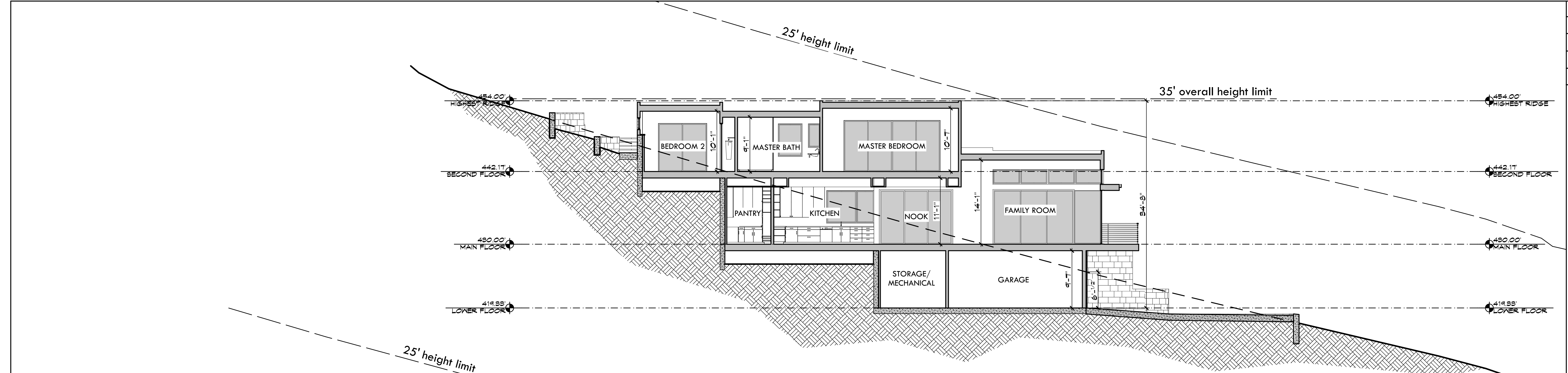
Stucco	272 BM-Balboa Mist	67.4	18324.64
Fascia & Gutters	124 Weathered Zinc-Pac Clad	25	3100
Wood Siding	282 Stained Cedar-Expresso	3.94	1111.08
Stone Veneer	111 Earthwood Tailored Ledge	21.6	2394.27
Glass	601	11	6611
D/M Frames	103 Fleetwood-Black Anodized	9.3	939.9
<b>Total =</b>	<b>1493</b>		<b>31880.84</b>
			<b>LRV = 21.95558</b>

**Rear Elevation**

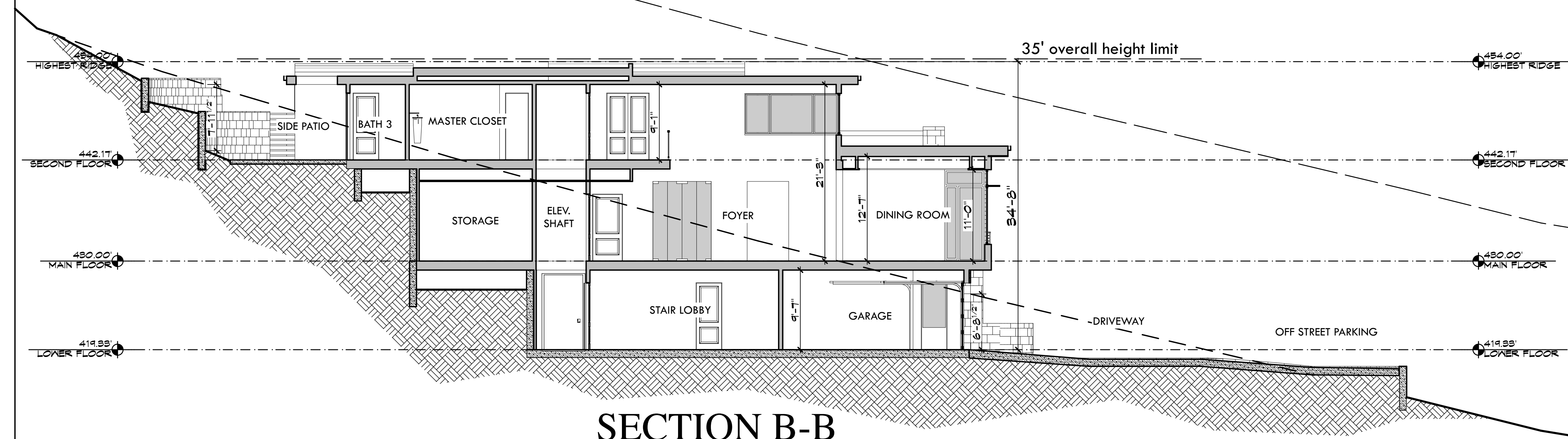
Stucco	179 BM-Balboa Mist	67.4	12059.23
Fascia & Gutters	36 Weathered Zinc-Pac Clad	25	900
Wood Siding	250 Stained Cedar-Expresso	3.94	985
Stone Veneer	4 Earthwood Tailored Ledge	21.6	86.28
Glass	103	11	1183
D/M Frames	30 Fleetwood-Black Anodized	9.3	99
<b>Total =</b>	<b>602</b>		<b>15262.51</b>
			<b>LRV = 25.95801</b>

**Total Average LRV**

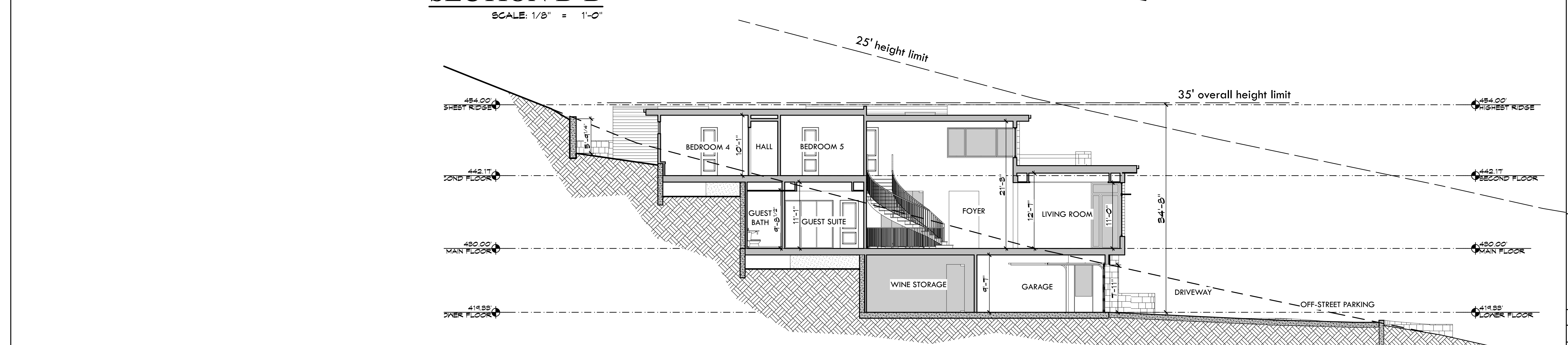
Front Elevation	15.4
Left Elevation	24.4
Rear Elevation	25.4
Right Elevation	21.4
<b>Average LRV =</b>	<b>22</b>



**SECTION A-A**  
SCALE: 1/8" = 1'-0"

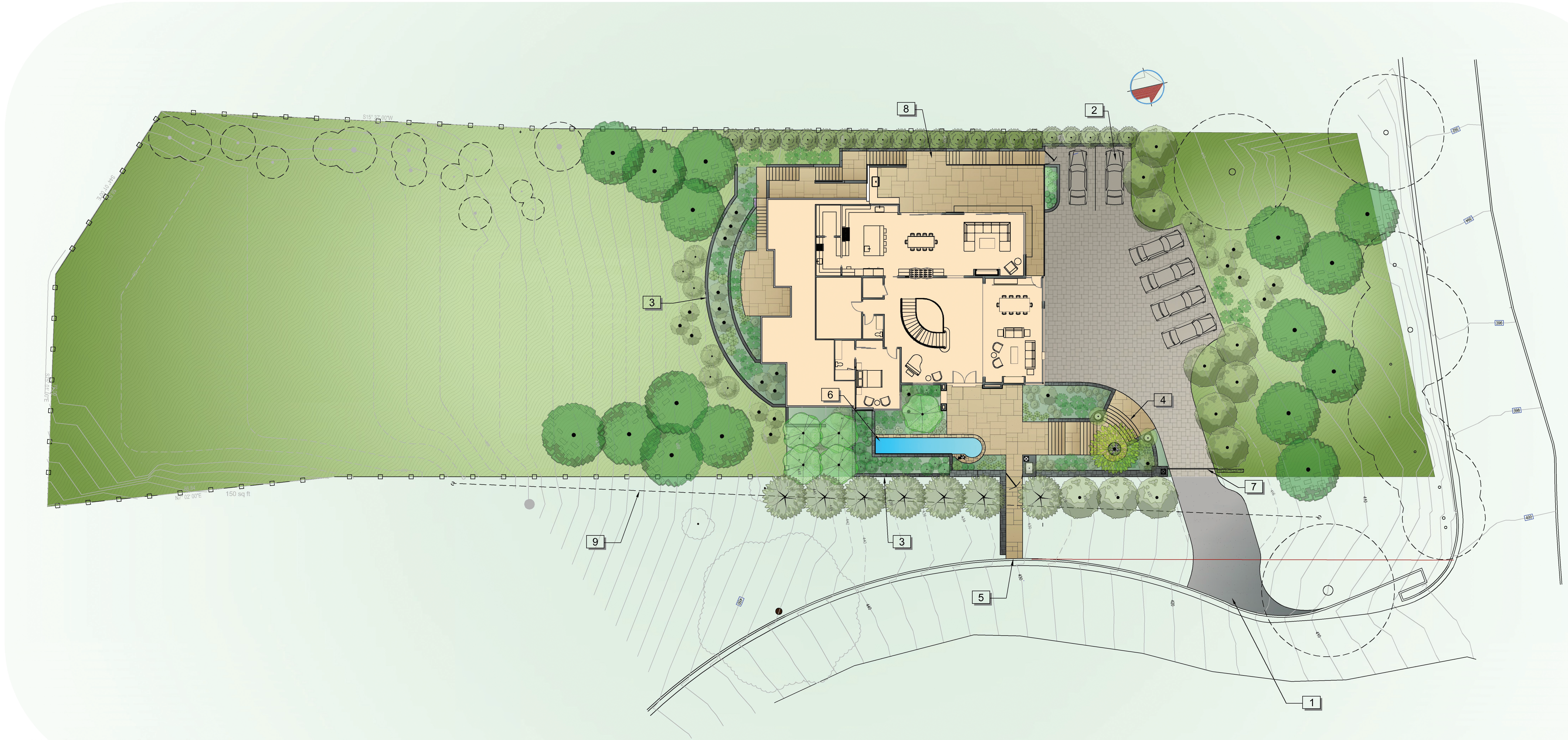


**SECTION B-B**  
SCALE: 1/8" = 1'-0"



**SECTION C-C**  
SCALE: 1/8" = 1'-0"





CONCEPT LANDSCAPE SCHEDULE

	FRONT SCREENING TREE		PERMEABLE PAVER DRIVE
	NEW OAK TREES		ASPHALT DRIVE OUTSIDE GATE TO STREET
	SMALL ORNAMENTAL TREE		SITE HARDSCAPE AND STEPS
	ENTRY STEPS TREE		UNDISTURBED SLOPE AREA
	WEST PROPERTY LINE SCREENING TREE		NEW 6' PERIMETER FENCE
	NATIVE AND ORNAMENTAL SHRUBS		
	EXISTING TREES TO REMAIN		

Notes:  
 1. For plant species and quantities see sheet L2.0 Planting Plan  
 2. For perimeter fence and entry gate details see sheet L2.1  
 3. For existing tree table and tree protection see sheet L3.0

REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION
1	Driveway entrance from Drysdale
2	Six total guest parking places
3	Retaining walls
4	Steps to front entry
5	Walk to front entry off of Drysdale
6	Fountain
7	Automatic entry gate
8	Side terraces, see Architecture Plans
9	Existing overhead lines. Note: these lines are proposed to be undergrounded with the building of the new residence

REVISIONS	BY
David R. Eby & Company, Landscape Architecture 1188 Katerberg Avenue San Jose, CA 95128 408-761-0212 phone david@ovlanet.com	
<h3>Concept Landscape Plan</h3>	
<b>The Diep Residence</b> 15925 Quail Hill Rd Los Gatos, California	
Date	4-10-20
Scale	1"=16'-0"
Drawn	DRF
Job	Diep
Sheet	L1.0
Of	Sheets



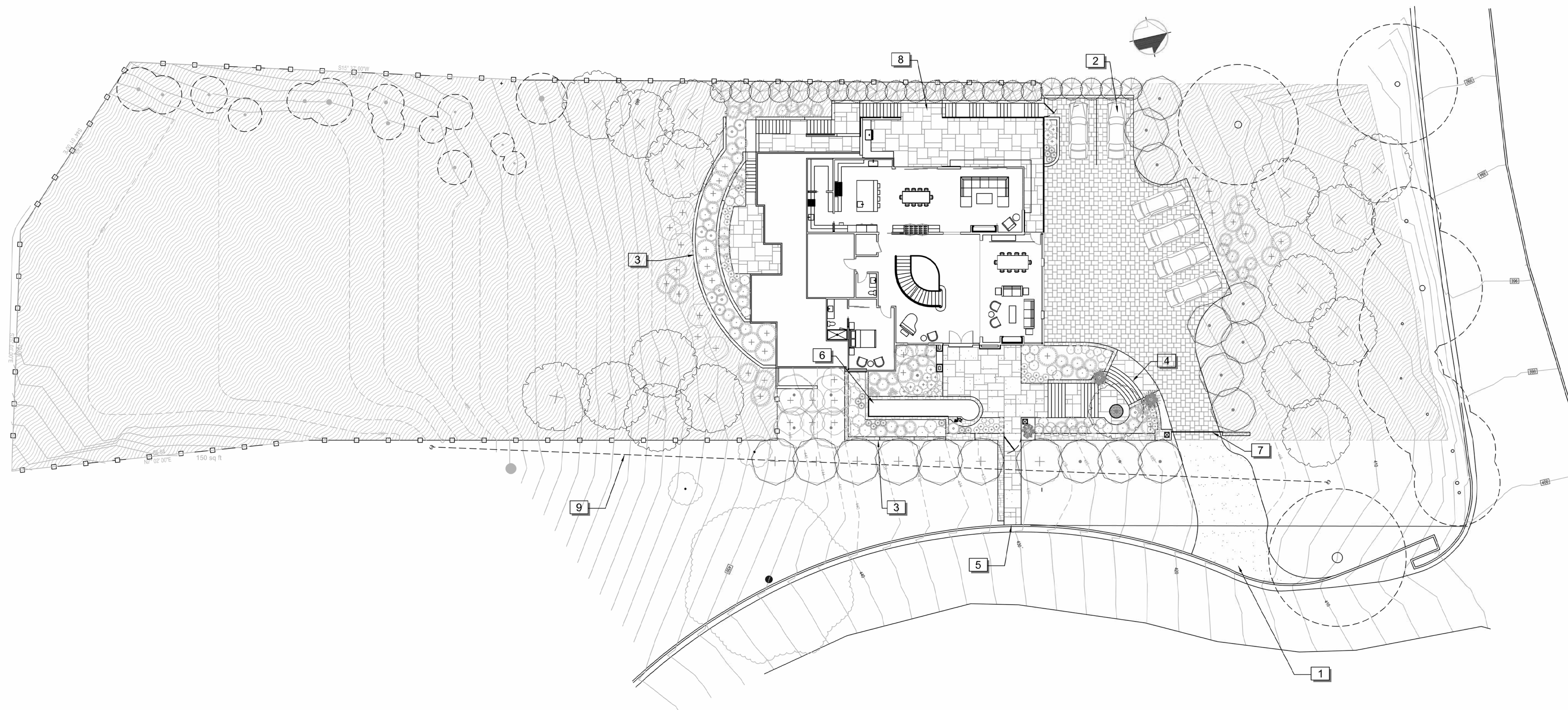
REVISIONS	BY

David R. Fox & Company, Landscape Architecture  
 1188 Kelenberg Avenue San Jose 95128  
 408-761-0212 phone david@foxla.net

Concept Landscape Plan

The Diep Residence  
 15925 Quail Hill Rd  
 Los Gatos California

Date 4-10-20  
 Scale 1"=16'-0"  
 Drawn DRF  
 Job Diep  
 Sheet  
**L1.0**  
 Of . . . Sheets



CONCEPT LANDSCAPE SCHEDULE

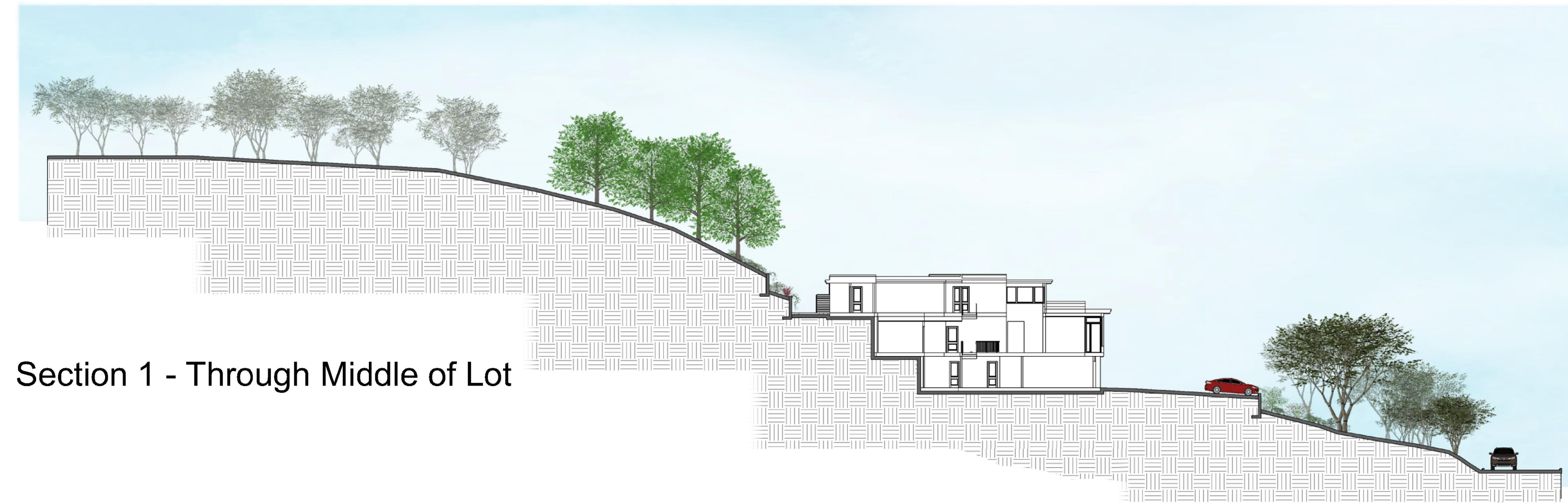
	FRONT SCREENING TREE		PERMEABLE PAVER DRIVE
	NEW OAK TREES		ASPHALT DRIVE OUTSIDE GATE TO STREET
	SMALL ORNAMENTAL TREE		SITE HARDSCAPE AND STEPS
	ENTRY STEPS TREE		UNDISTURBED SLOPE AREA
	WEST PROPERTY LINE SCREENING TREE		NEW 6' PERIMETER FENCE
	NATIVE AND ORNAMENTAL SHRUBS		
	EXISTING TREES TO REMAIN		

Notes:  
 1. For plant species and quantities see sheet L2.0 Planting Plan  
 2. For perimeter fence and entry gate details see sheet L2.1  
 3. For existing tree table and tree protection see sheet L3.0

REFERENCE NOTES SCHEDULE

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7	Automatic entry gate
8	Side terraces, see Architecture Plans
9	Existing overhead lines. Note: these lines are proposed to be undergrounded with the building of the new residence

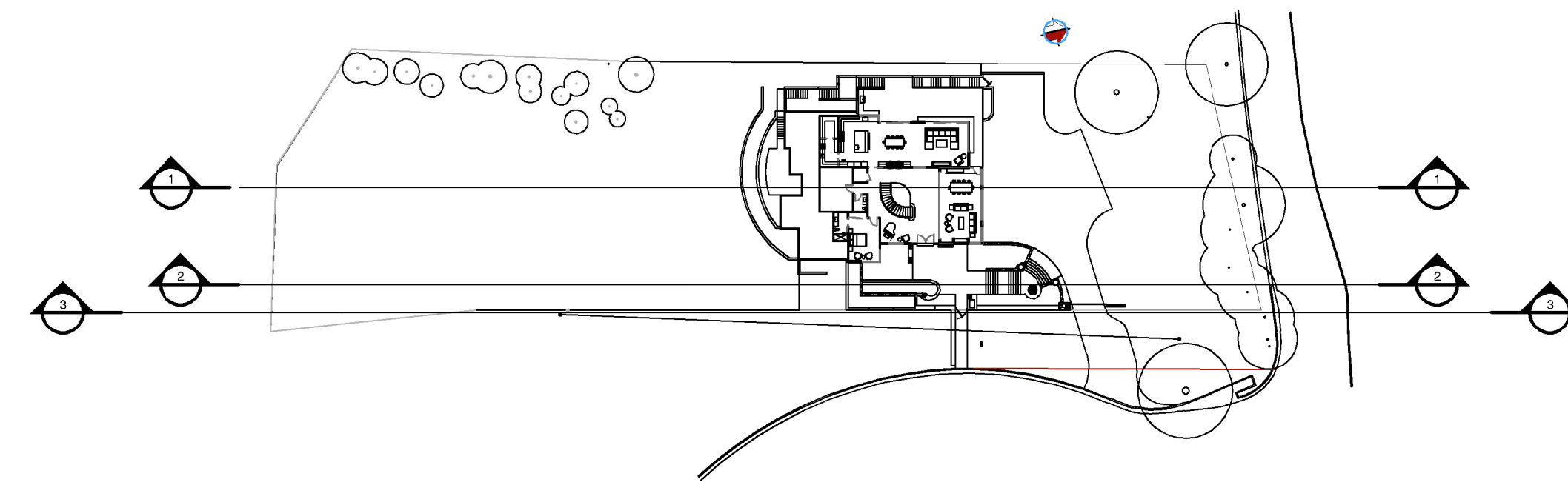




Section 1 - Through Middle of Lot



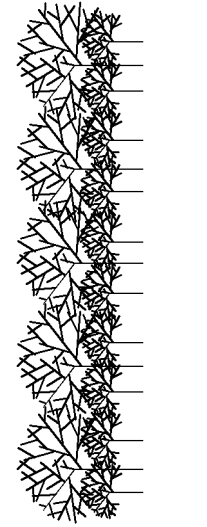
Section 2 - Entry to House from Driveway



Section 3 - View with Screening Trees

REVISIONS	BY

David R. Fox & Company, Landscape Architecture  
 1188 Kellenberg Avenue San Jose 95128  
 408-761-0212 phone david@foxla.net

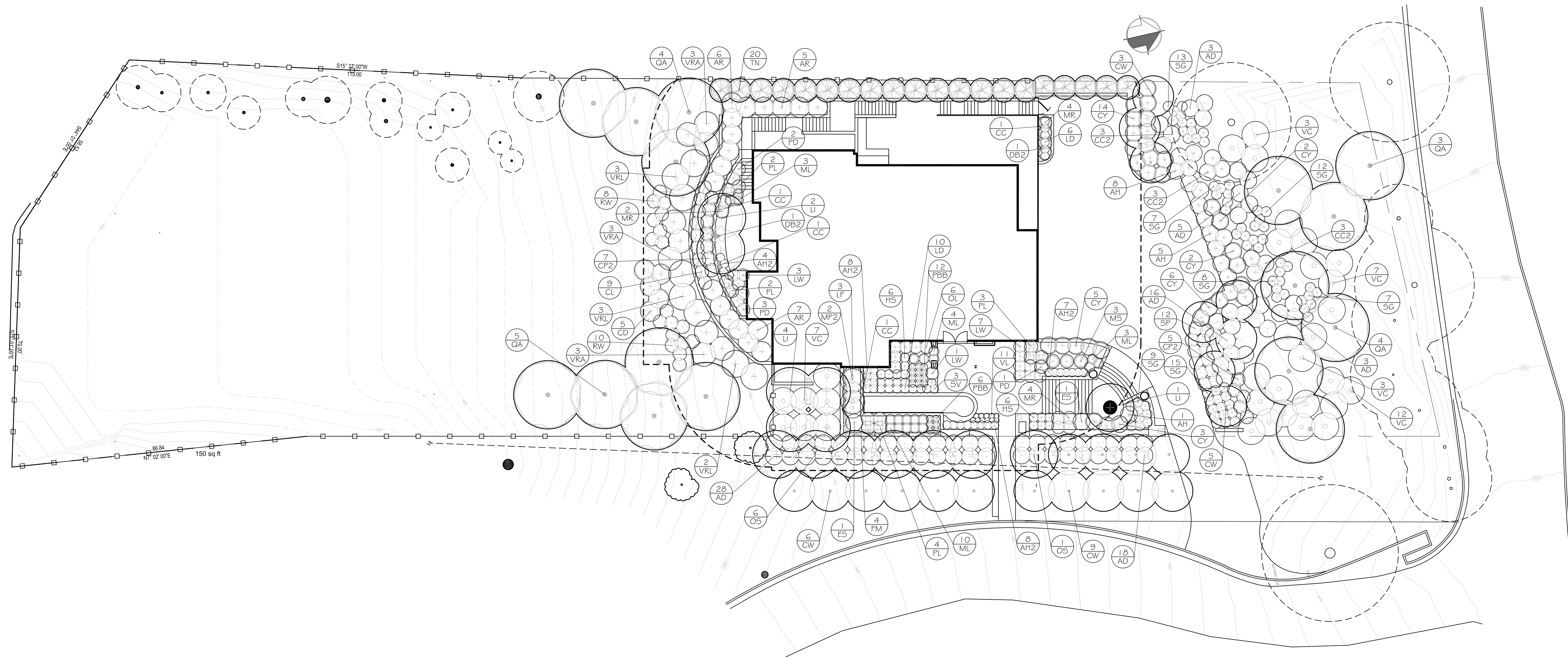


Sections

The Diep Residence  
 15925 Quail Hill Rd  
 Los Gatos California

Date 4-10-20  
 Scale NTS  
 Drawn DRF  
 Job Diep  
 Sheet  
**L1.1**  
 Of . Sheets





PLANT SCHEDULE

TREES	CODE	BOTANICAL / COMMON NAME	CONT.	QTY.
	CW	<i>Cercis occidentalis</i> / Western Redbud Multi-trunk	15 gal	23
	LI	<i>Lagerstroemia indica</i> / Grape Myrtle - Multi trunk	24"box	7
	OS	<i>Olea europaea</i> 'Swan Hill' / Swan Hill Olive	24"box	7
	QA	<i>Quercus agrifolia</i> / Coast Live Oak	24"box	16
	TN	<i>Thuja occidentalis</i> 'Nigra' / Black Arborvitae	24"box	20

PLANT SCHEDULE

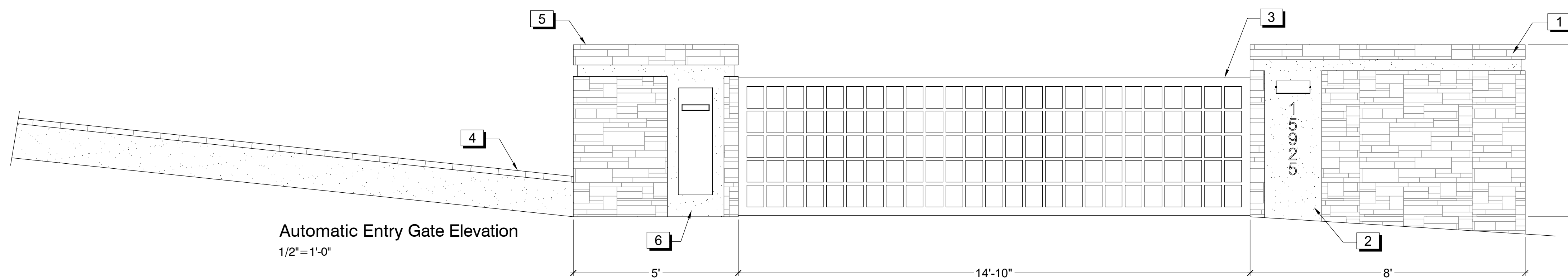
SHRUBS	CODE	BOTANICAL / COMMON NAME	SIZE	QTY.	GRASS	CODE	BOTANICAL / COMMON NAME	SIZE	QTY.
	AR	<i>Acacia redolens</i> / Bank Catalpa	5 gal	18		ML	<i>Miscanthus sinensis</i> 'Little Kitten' / Little Kitten Eulalia Grass	1 gal	20
	AH2	<i>Anigozanthos</i> x 'Big Red' / Big Red Kangaroo Paw	1 gal	27		MR	<i>Muhlenbergia rigens</i> / Deer Grass	1 gal	10
	AH	<i>Arctostaphylos densiflora</i> 'Howard McMinn' / Howard McMinn Manzanita	5 gal	14		MP2	<i>Myoporum parvifolium</i> / Trailing Myoporum	5 gal	2
	AD	<i>Arctostaphylos</i> x 'John Dourley' / John Dourley Manzanita	1 gal	73		OL	<i>Olea europaea</i> 'Little Ollie' / Little Ollie Olive	5 gal	6
	CL	<i>Callistemon citrinus</i> 'Little John' / Dwarf Bottle Brush	5 gal	9		PL	<i>Perovskia atriplicifolia</i> 'Lacey Blue' / Russian Sage	1 gal	11
	CP2	<i>Ceanothus griseus</i> 'Point Sal' / Point Sal Wild Lilac	1 gal	12		PD	<i>Phormium tenax</i> 'Dark Delight' / Dark Delight Flax	5 gal	6
	CC2	<i>Ceanothus</i> x 'Concha' / California Lilac	1 gal	9		PBB	<i>Phormium</i> 'Bronze Baby' / Bronze Baby Flax	1 gal	18
	CD	<i>Ceanothus</i> x 'Dark Star' / California Lilac	5 gal	5		RW	<i>Romneya coulteri</i> 'White Cloud' / White Cloud Matilija Poppy	5 gal	18
	CY	<i>Ceanothus</i> 'Yankee Point' / California Lilac	1 gal	32		VRA	<i>Rosa banksiae</i> 'Alba' / Lady Banksia Rose	5 gal	9
	CC	<i>Clytostoma callistegioides</i> / Violet Trumpet Vine	5 gal	4		VRL	<i>Rosa banksiae</i> 'Lutea' / Banksia Rose	5 gal	8
	DB2	<i>Distictis buccinatoria</i> / Blood Red Trumpet Vine	5 gal	2		SP	<i>Salvia brandegeei</i> 'Pacific Blue' / Santa Rosa Island Sage	1 gal	12
	ES	<i>Echium candicans</i> 'Select Blue' / Pride of Madeira	5 gal	2		SS	<i>Salvia</i> x 'Gracias' / Sage	1 gal	71
	FM	<i>Ficus pumila minima</i> / Creeping Fig	5 gal	4		SV	<i>Senecio vitalis</i> / Blue Chalk Fingers	1 gal	3
	HS	<i>Helliotrichon sempervirens</i> 'Sapphire' / Blue Oat Grass	1 gal	12		VL	<i>Verbena illicina</i> 'De la Mina' / Lilac Verbena	1 gal	11
	LXN	<i>Lantana montevidensis</i> 'White/Blue mix' / Trailing Lantana	1 gal	11		VC	<i>Vitis californica</i> 'Roger's Red' / California Wild Grape	1 gal	32
	LD	<i>Lithodora diffusa</i> 'Grace Ward' / Grace Ward Lithodora	1 gal	16					
	LF	<i>Loropetalum chinense rubrum</i> 'Razzeberry' / Purple Fringe Flower	5 gal	3					
	MS	<i>Miscanthus sinensis</i> 'Adagio' / Adagio Eulalia Grass	5 gal	3					

David R. Fox & Company, Landscape Architecture  
 1188 Kelenberg Avenue San Jose 95128  
 408-761-0212 phone david@foxlanet

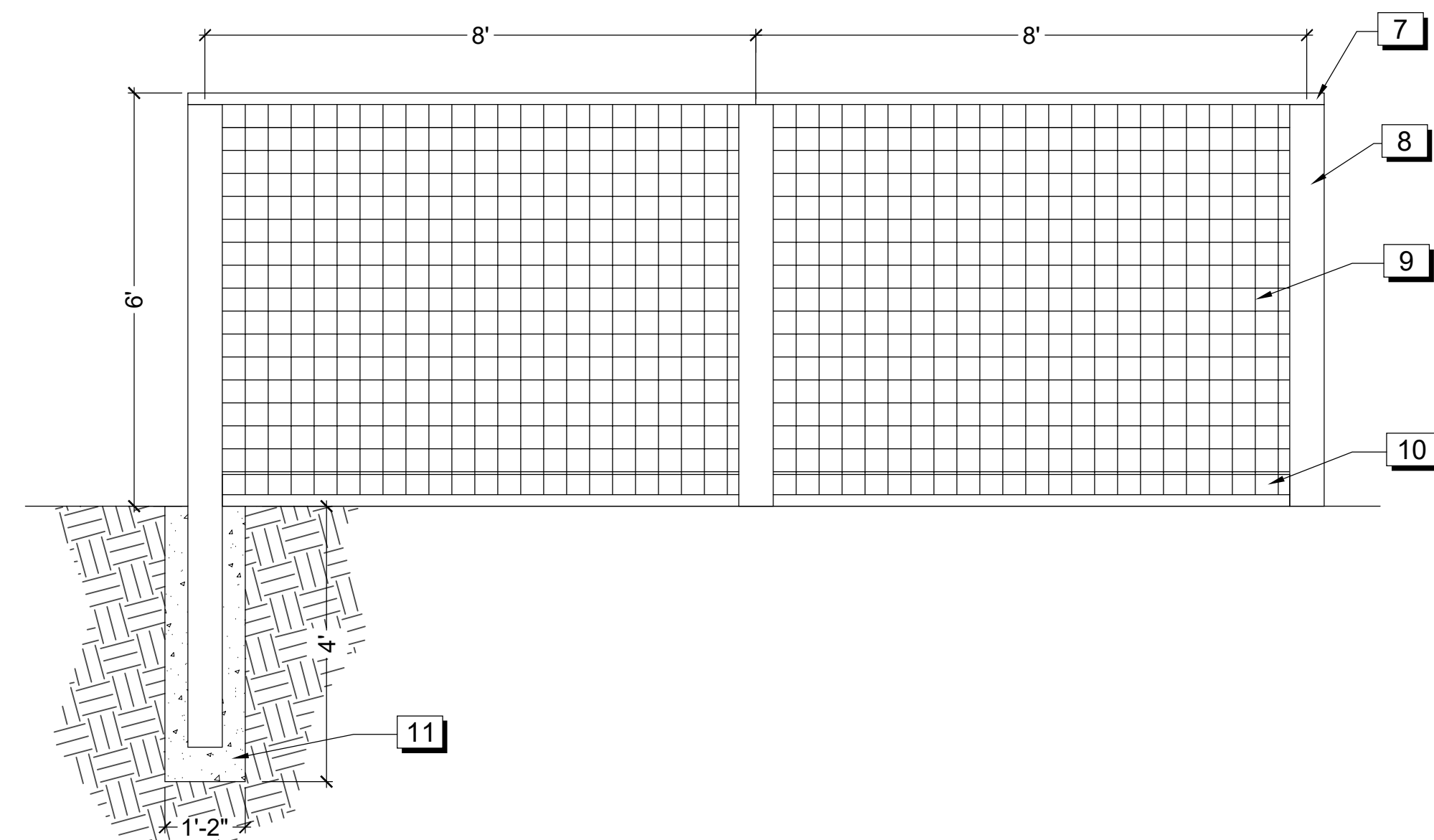
Planting Plan

The Diep Residence  
 15925 Quail Hill Rd  
 Los Gatos California

Date 4-20-20  
 Scale 1"=16'-0"  
 Drawn DRF  
 Job Diep  
 Sheet  
**L2.0**  
 Of Sheets



Automatic Entry Gate Elevation  
1/2"=1'-0"



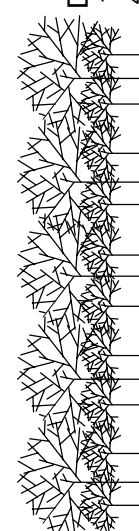
Wood and Wire Fence  
1/2"=1'-0"

REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION
1	Street address wall, stone veneer to match house
2	Stucco panel with down facing light fixture and metal address numbers. Stucco finish to match house
3	4' metal automatic sliding gate
4	Site retaining wall, see landscape plan. The top of wall is 12" above existing grade for the run of the wall from the front entry gate to the walkway that goes out to Drydale from the house entrance.
5	Mailbox wall, stone veneer to match house
6	Stucco panel with mailbox, stucco finish to match house
7	2x6 PT fir top rail
8	4x6 PT fir post
9	4"x4" 10ga W/M, staple to frame
10	2x6 PT fir kicker board
11	Concrete footing

REVISIONS BY

David R. Fox & Company, Landscape Architecture  
1188 Kellenberg Avenue San Jose 95128  
408-761-0212 phone david@foxla.net



Details

The Diep Residence  
15925 Quail Hill Rd  
Los Gatos California

Date 4-10-20

Scale 1"=2'-0"

Drawn DRF

Job Diep

Sheet

L2.1  
Of Sheets





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**TOWN OF LOS GATOS  
PLANNING COMMISSION  
REPORT**

MEETING DATE: 09/09/2020

ITEM NO: 3

DESK ITEM

---

DATE: September 9, 2020  
TO: Planning Commission  
FROM: Joel Paulson, Community Development Director  
SUBJECT: Requesting Approval for Demolition of an Existing Single-Family Residence and Detached Accessory Dwelling Unit, and Construction of a Two-Story Single-Family Residence on Property Zoned HR-1. APN 527-02-007. Architecture and Site Application S-19-012. Located at 15925 Quail Hill Drive. Applicant: Gary Kohlsaatt. Property Owner: John and Allison Diep.

REMARKS:

Exhibit 26 includes public comments received by 11:00 a.m., Wednesday, September 9, 2020.

EXHIBITS:

Previously received with December 11, 2019 Staff Report:

1. Location Map
2. Required Findings and Considerations
3. Recommended Conditions of Approval
4. Project Description
5. Materials Board
6. Letter of Justification, dated November 21, 2019
7. Consulting Architect's Report, received March 26, 2019
8. Applicant's Response to Consulting Architect's Report, dated May 22, 2019
9. Applicant's Response to Consulting Architect's Recommendations, dated November 20, 2019
10. Consulting Architect's Second Report, received November 7, 2019
11. Consulting Arborist Report, dated April 18, 2019
12. Applicant's neighbor outreach efforts
13. Public comments received by 11:00 a.m., Friday, December 6, 2019
14. Development Plans

PREPARED BY: JENNIFER ARMER, AICP  
Senior Planner

---

Reviewed by: Planning Manager and Community Development Director

---

PAGE 2 OF 2

SUBJECT: 15925 Quail Hill Drive/S-19-012

DATE: September 9, 2020

Previously received with December 11, 2019 Addendum Report:

15. Correspondence from the Applicant

Previously received with September 9, 2020 Staff Report:

16. Revised Conditions of Approval

17. Revised Findings and Considerations

18. Revised Project Description and Justification Letter

19. Supplemental Justification Letter

20. Revised Project Data Table

21. Revised Grading Exception Site Plan

22. Consulting Architect's Third Report, received May 14, 2020

23. Applicant's Response to Consulting Architect's Recommendations, dated June 15, 2020

24. Revised Color Board

25. Revised Development Plans

Received with this Desk Item Report:

26. Public comments received by 11:00 a.m., Wednesday, September 9, 2020

**From:** Bernard-Marcia Coullahan  
**Sent:** Tuesday, September 8, 2020 3:04 PM  
**To:** Planning Comment <[PlanningComment@losgatosca.gov](mailto:PlanningComment@losgatosca.gov)>  
**Subject:** 15925 Quail Hill Road site building application

My wife Marcia and I are in complete agreement with the Diep's proposed building application.

we live on the adjacent property at 100 Drysdale Drive.

thanks, Bernie Coullahan

EXHIBIT 26

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**TOWN OF LOS GATOS  
PLANNING COMMISSION  
REPORT**

MEETING DATE: 09/09/2020

ITEM NO: 4

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DATE: September 4, 2020  
TO: Planning Commission  
FROM: Joel Paulson, Community Development Director  
SUBJECT: Consider a Request for Approval for a Variance from the Town Code to Exceed the Maximum Allowable Sign Area and an Exception from the Commercial Design Guidelines to Exceed the Maximum Letter Height for a Wall Sign (Sephora) on Property Zoned C-2:LHP:PD, Located at 50 University Avenue, Suite B260. APN 529-02-044. Variance Application V-20-001. Property Owner: SRI Old Town LLC. Applicant: Peter Liu.

Deemed complete: July 30, 2020  
Final date to take action: January 30, 2021

**RECOMMENDATION:**

Consider a request for approval for a Variance from the Town Code to exceed the maximum allowable sign area and an exception from the Commercial Design Guidelines to exceed the maximum letter height for a wall sign on property zoned C-2:LHP:PD, Located at 50 University Avenue, Suite B260.

**PROJECT DATA:**

General Plan Designation: Central Business District  
Zoning Designation: Central Business District, Landmark and Historic Preservation Overlay, Planned Development, C-2:LHP:PD  
Applicable Plans & Standards: Master Sign Program, Zoning Code; Commercial Design Guidelines  
Parcel Size: 4.15 acres

**PREPARED BY:** ERIN WALTERS  
Associate Planner

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Reviewed by: Planning Manager and Community Development Director

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Surrounding Area:

	Existing Land Use	General Plan	Zoning
North	Residential	Medium Density Residential	R-1:8:LHP
East	Los Gatos Creek and Highway 17	N/A	N/A
South	Commercial	Central Business District	C-2:LHP
West	Commercial	Central Business District	C-2:LHP

CEQA:

The project is Categorically Exempt pursuant to the adopted Guidelines for the Implementation of the California Environmental Quality Act, Section 15301: Existing Facilities.

FINDINGS:

- As required, the project is Categorically Exempt pursuant to the adopted Guidelines for the Implementation of the California Environmental Quality Act, Section 15301: Existing Facilities.
- As required by Section 29.20.170 of the Town Code for granting a Variance application to exceed the maximum allowable sign area.
- That the project is in conformance with Planned Development Ordinance 2025.
- That the project is in conformance with the Old Town Master Sign Program.
- That the proposed project is consistent with the applicable Commercial Design Guidelines with the exception of the maximum letter height for a wall sign in the C-2 District.

ACTION:

The decision of the Planning Commission is final unless appealed within ten days.

BACKGROUND:

The subject site is located on the east side of University Avenue (Exhibit 1). The subject 4,668-square foot tenant space is located on the first floor of the Old Town Shopping Center and is currently under construction with a retail tenant improvement (Sephora). The subject tenant space is a portion of a former restaurant space (The Catamount).

On January 14, 2020, the applicant applied for a sign permit (SN-20-002) for the subject tenant space. Staff reviewed the sign permit application package and determined that the proposed total sign area would exceed the maximum allowable sign area per Section 29.10.135 (c), Rules 1 and 2, of the Town Code, and the proposed letter height would exceed the maximum letter

BACKGROUND (continued):

height for a wall sign per Section 6.2.5 of the Commercial Design Guidelines. On March 11, 2020, the applicant applied for a Variance application.

PROJECT DESCRIPTION:

The project is being considered by the Planning Commission as the applicant is requesting approval of a Variance to exceed the maximum allowable sign area and an exception from the Commercial Design Guidelines to exceed the maximum letter height for a wall sign located in the C-2 District.

A. Location and Surrounding Neighborhood

The subject property is located on the east side of University Avenue (Exhibit 1) and is developed with the Old Town Shopping Center commercial buildings. The subject 4,668-square foot tenant space is located on the first floor of the shopping center's main building. The property abuts commercial properties to the south and west, residential properties to the north, and the Los Gatos Creek and Highway 17 to the east.

B. Project Summary

The applicant is requesting approval of a Variance to exceed the maximum allowable sign area and an exception from the Commercial Design Guidelines to exceed the maximum letter height for a wall sign located in the C-2 District.

DISCUSSION:

A. Project Summary

The applicant proposes a wall sign and awning signage on the exterior building of the subject tenant space. The proposed signage meets the Old Town Shopping Center Master Sign Program, but exceeds the maximum allowable sign area per the Town Code and exceeds the maximum letter height for wall signs located in the C-2 District per the Commercial Design Guidelines. The applicant has provided a scope of work and letter of justification for the proposed project (Exhibits 4 and 5). The proposed development plans are provided in Exhibit 9.

**Total Sign Area**

The applicant proposes 70.2 square feet of wall sign area and 2.62 square feet of awning sign area resulting in a total proposed sign area of 72.82 square feet where the maximum allowable sign area is 51.66 square feet per Town Code (Exhibit 9, Sheets 1.2 and 2.0). Per

DISCUSSION (continued):

the Commercial Design Guidelines (Chapter 6, page 5), a six-inch margin around all words has been included to calculate the total sign area.

Total Sign Area	
Proposed	Maximum Allowable
72.82 square feet	51.66 square feet

The project business frontage is 51 feet, 8-inches. Per Town Code Section 29.10.135 (c), Rules 1 and 2, the maximum allowable signage area for the subject business frontage is 51.66 square feet. A Variance from the Town Code is required to exceed the maximum allowable sign area.

**Wall Sign Letter Height**

The applicant proposes a 30-inch letter height for the wall sign, when a maximum letter height of 12-inches is allowed per the Commercial Design Guidelines (Exhibit 9, Sheets 1.2 and 2.0).

Wall Letter Height	
Proposed	Maximum
30-inches	12-inches

Per the Commercial Design Guidelines- Chapter 6.2 Wall Signs:  
Section 6.2.5 - Maximum letter height:

*Sign height and width should be appropriate to the building on which it is placed and the distance of the sign from the fronting streets. Generally, wall sign letter heights should not exceed the following:*

*C-1 District, 12 inches*

*C-2 District, 12 inches*

*LM District, 12 inches*

*Los Gatos Boulevard, 18 inches*

*Exception: Auto dealership wall signage will be considered in the context of the overall Sign Program.*

The subject site is located in the C-2 District and subject to a maximum letter height of 12-inches. An exception from the Commercial Design Guidelines is required to exceed the maximum letter height.



DISCUSSION (continued):

B. Variance – Exceed Maximum Sign Area

Section 29.10.135 (c) of the Town Code states that Rules 1 and 2 govern the calculation of the area of attached signs. The maximum sign area for attached signs on any frontage may not exceed the area derived from the calculation for that frontage.

*Rule 1. Allowed sign area is one (1) square foot for each lineal foot of primary business frontage plus one (1) square foot for each lineal foot of secondary business frontage provided that the sign area generated by each secondary business frontage cannot exceed fifty (50) percent of the sign area generated by the primary business frontage.*

*Rule 2. Allowed sign area is one (1) square foot for each lineal foot of primary business frontage plus one-half square foot for each lineal foot of secondary business frontage.*

The maximum allowable sign area for the subject business frontage is 51.66 square feet as the primary business frontage is 51 feet, 8-inches. The applicant is requesting a Variance to exceed the maximum allowable sign area to allow a sign area of 77.82 square feet. The applicant has provided a letter of justification for the request (Exhibit 5), citing the need to exceed the maximum allowable sign area due to the requirement of the Commercial Design Guidelines 6-inch sign area margin and due to the project's proposed letter height of 30-inches. An exception from the Commercial Design Guidelines is also required to exceed the maximum letter height of 12-inches in the C-2 District.

As required by Section 29.20.170 of the Town Code, the deciding body, on the basis of the evidence submitted at the hearing, may grant a Variance if it can make the following findings.

1. Because of special circumstances applicable to the property, including size, shape, topography, location or surroundings, the strict application of the ordinance deprives such property of privileges enjoyed by other properties in the vicinity and under identical zone; and
2. The granting of a variance would not constitute a grant of special privileges inconsistent with the limitations upon other properties in the vicinity and zone which such property is situated.

The applicant has submitted a letter of justification outlining the request for a larger wall sign area than permitted by the Town Code and taller letter height than permitted by and the Commercial Design Guidelines (Exhibit 5). The applicant states that vehicular and pedestrian visibility to the subject tenant's sign would be compromised as the building is setback 188 feet from the public right of way, creating a unique challenge. The applicant also states that the mature trees and the shopping center's sign would block visibility to the tenant's signage.

DISCUSSION (continued):

The letter of justification states that the 12-inch letter height would not be seen by vehicular traffic along University Avenue and would prevent the tenant from being adequately identified. The letter states that a larger letter height would help identify the tenant to vehicular traffic, possibly preventing traffic incidents. The applicant states that the tenant space is unique to other tenant spaces as it is larger and has a pitched roof over the entry. The applicant provides that a larger sign would be visually more aesthetic than a smaller sign, and compliment the scale of the building's architecture.

The applicant also states that other businesses in the shopping center and in surrounding shopping centers appear to have signage that exceed the letter height as shown in the provided site photographs (Exhibit 6). The applicant states that the granting of the Variance would not grant a special privilege that other properties do not also enjoy.

C. Old Town Shopping Center Sign Letter Height - Neighborhood Compatibility

The following table provides a summary of sign letter height for wall signs located on the subject building in the Old Town Shopping Center.

Tenant Name	Sign Letter Height
White House Black Market	12-inches
Thread Up	11-1/2-inches
Talbots	30-inches
Anthropologie	8-inches
Chico's	12-inches
Wine Cellar	17-inch letter "W" and 24-inch letter "C"

Existing sign letter heights range from eight inches to 30 inches. There are two examples of larger sign letter heights that exceed the Commercial Design Guidelines. Wine Cellar has a 17-inch "W" and 24-inch "C" and Talbots has a 30-inch sign letter height. The Talbots and Wine Cellar signs were approved prior to the approval of the Commercial Design Guidelines.

D. Neighborhood Outreach

The applicant reached out to the surrounding tenants of the Old Town Shopping Center regarding the proposed project. The applicant has provided a summary of the outreach and the feedback (Exhibit 7). A majority of the tenants were supportive of the proposed signage and two tenants provided feedback that a 24-inch letter height would be preferable.

DISCUSSION (continued):

E. Sign Letter Height and Total Sign Area Alternatives

Staff requested that the applicant provide a summary of sign letter heights and total sign area alternatives for the subject project to provide a comparison. The total sign area column includes both the wall sign area and the awning sign area. The applicant provided the following table:

Wall Sign Letter Height	Wall Sign Area (s.f.) (includes the required 6-inch margin)	Awning Sign Area (s.f.)	Total Sign Area (s.f.)	Variance Required
12-inch	18.43	2.62	21.05	No
18-inch	31.03	2.62	33.65	No
24-inch	49.56	2.62	52.18	Yes
<i>Proposed 30-inch</i>	<i>Proposed 70.2</i>	<i>Proposed 2.62</i>	<i>Proposed 72.82</i>	<i>Yes</i>
Max. allowed per Commercial Design Guidelines 12-inch			Max. allowed per Town Code 51.66 s.f.	

The table above provides four different wall sign letter height options: 12-inch, 18-inch, 24-inch, and 30-inch. Either the 12-inch and 18-inch wall sign letter height option would result in a total sign area (including the awning sign area) which would not require a Variance from the Town Code. Either the 24-inch and 30-inch wall sign letter height option would result in a total sign area (including the awning sign area) which would require a Variance from the Town Code.

F. CEQA Determination

The project is Categorically Exempt pursuant to the adopted Guidelines for the Implementation of the California Environmental Quality Act, Section 15301: Existing Facilities.

PUBLIC COMMENTS:

At this time, the Town has not received any public comment.

CONCLUSION:

A. Summary

The applicant is requesting approval of a Variance from the Town Code for a sign area of 72.82 square feet, where 51.66 square feet is allowed based on primary business frontage, and approval of an exception from the Commercial Design Guidelines for a 30-inch wall sign letter height, where the maximum is 12-inches in the C-2 District.

B. Recommendation

If the Planning Commission finds merit with the proposed project, it should:

1. Make the finding that the proposed project is Categorically Exempt, pursuant to the adopted Guidelines for the implementation of the California Environmental Quality Act, Section 15301: Existing Facilities (Exhibit 2);
2. Make the findings as required by Section 29.20.170 of the Town Code for granting a Variance to exceed the maximum allowable sign area (Exhibit 2);
3. Make the finding that the project is in conformance with Planned Development Ordinance 2025 (Exhibit 2);
4. Make the finding the project is in conformance with the Old Town Master Sign Program (Exhibit 2);
5. Make the finding that the project complies with the applicable Commercial Design Guidelines with the exception of exceeding the maximum letter height for a wall sign in the C-2 District (Exhibit 2); and
6. Approve Variance application V-20-001 with the conditions contained in Exhibit 3 and the development plans in Exhibit 9.

C. Alternatives

Alternatively, the Commission can:

1. Continue the matter to a date certain with specific direction; or
2. Approve the application with additional and/or modified conditions; or
3. Deny the application.

EXHIBITS:

1. Location Map
2. Required Findings and Considerations
3. Recommended Conditions of Approval
4. Project Description, received June 26, 2020
5. Letter of Justification, received June 26, 2020



**PAGE 9 OF 10**

**SUBJECT: 50 University Avenue, Suite B260/V-20-001**

**DATE: September 4, 2020**

6. Site Photographs, received March 11, 2020
7. Neighborhood Outreach, received June 26, 2020
8. Old Town Center Master Sign Program
9. Development Plans, received July 23, 2020

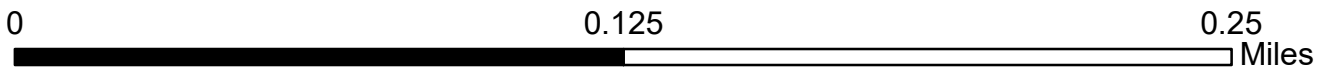
PAGE **10** OF **10**

SUBJECT: 50 University Avenue, Suite B260/V-20-001

DATE: September 4, 2020

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# 50 University Avenue, Suite B260



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**PLANNING COMMISSION – September 9, 2020  
REQUIRED FINDINGS FOR:**

**50 University Avenue, Suite B260  
Variance Application V-20-001**

**Request for approval for a variance from the Town Code to exceed the maximum allowable sign area and an exception from the Commercial Design Guidelines to exceed the maximum letter height for a wall sign (Sephora) on property zoned C-2:LHP:PD, Located at 50 University Avenue, Suite B260. APN 529-02-044. Property Owner: SRI Old Town LLC. Applicant: Peter Liu.**

**FINDINGS**

**Required findings for CEQA:**

- The project is Categorically Exempt pursuant to the adopted Guidelines for the Implementation of the California Environmental Quality Act, Section 15301: Existing Facilities.

**Required findings for granting a Variance application to exceed the maximum allowable sign area:**

- As required by Section 29.20.170 of the Town Code for granting a Variance application:
  - (1) Because of special circumstances applicable to the property, including size, shape, topography, location or surroundings, the strict application of this ordinance deprives such property of privileges enjoyed by other properties in the vicinity and under identical zone; and
  - (2) The granting of a variance would not constitute a grant of special privileges inconsistent with the limitations upon other properties in the vicinity and zone which such property is situated.

**Planned Development Ordinance:**

- The project is in conformance with Planned Development Ordinance 2025.

**Master Sign Program:**

- The project is in conformance with the Old Town Master Sign Program.

EXHIBIT 2

**Commercial Design Guidelines:**

- The proposed signage is consistent with applicable provisions of the Commercial Design Guidelines with the exception of exceeding the maximum letter height for a wall sign in the C-2 District.

N:\DEV\FINDINGS\2020\University Avenue, 50 Suite B260 - Findings - PC 09-09-20.docx

**PLANNING COMMISSION – September 9, 2020**  
**CONDITIONS OF APPROVAL**

**50 University Avenue, Suite B260**  
**Variance Application V-20-001**

**Request for approval for a variance from the Town Code to exceed the maximum allowable sign area and an exception from the Commercial Design Guidelines to exceed the maximum letter height for a wall sign (Sephora) on property zoned C-2:LHP:PD, Located at 50 University Avenue, Suite B260. APN 529-02-044. Property Owner: SRI Old Town LLC. Applicant: Peter Liu.**

TO THE SATISFACTION OF THE DIRECTOR OF COMMUNITY DEVELOPMENT:

*Planning Division*

1. APPROVAL: This application shall be completed in accordance with all of the conditions of approval and in substantial compliance with the approved plans. Any changes or modifications to the approved plans and/or business operation shall be approved by the Community Development Director, DRC or the Planning Commission depending on the scope of the changes.
2. EXPIRATION: The approval will expire two years from the approval date pursuant to Section 29.20.320 of the Town Code, unless the approval has been vested.
3. BUILDING PERMIT: Obtain building permit for signage prior to installation.
4. TOWN INDEMNITY: Applicants are notified that Town Code Section 1.10.115 requires that any applicant who receives a permit or entitlement from the Town shall defend, indemnify, and hold harmless the Town and its officials in any action brought by a third party to overturn, set aside, or void the permit or entitlement. This requirement is a condition of approval of all such permits and entitlements whether or not expressly set forth in the approval and may be secured to the satisfaction of the Town Attorney.
5. COMPLIANCE MEMORANDUM: A memorandum shall be prepared and submitted with the building plans detailing how the Conditions of Approval will be addressed.

EXHIBIT 3





# SEPHORA

LOS GATOS PALMS

OLD TOWN CENTER

50 UNIVERSITY AVE., #B260

LOS GATOS, CA 95032

## Description of Proposed Signage

### Main Entry (Primary frontage)

Installation of "SEPHORA" Back-lit Channel letters (70.2 square feet, sign FL.1 on drawings) on primary frontage at a proposed letter height of 2'6" and a length of 20' 11/16", including the required 6" border around sign copy.

Installation of two new awnings above the windows to each side of the entry way doors with "SEPHORA" copy (signs AW.1 on drawings) on the primary frontage. Awning copy for each sign is 1.31 square feet with a proposed letter height of 5" and a length of 3' 2 1/8".

The proposed sign area of the wall sign is 70.2 square feet and the proposed sign area of the awnings are 2.62 cumulative square feet for a total of 72.82 square feet.

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4-7-2020

City of Los Gatos  
Planning Commission  
110 E. Main St.  
Los Gatos, CA 95030

ATTN: Community Development Department

**RE: Letter of Justification for a Variance from the Town Code and an Exception to Commercial Design Guidelines for 50 University Ave. #B260, for wall sign area and letter height.**

To Whom It May Concern,

This Letter of Justification is respectfully submitted for your consideration, in the installation of the proposed wall signage for Sephora at 50 University Ave, Suite B260.

A variance is requested from the Town Code Section 29.10.135 (c)(2) to exceed the maximum allowable sign area. This code section states, "Allowed sign area is (1) square foot for each lineal foot of primary business frontage plus one-half square foot for each lineal foot of secondary business frontage." The maximum allowable sign area is 51'8" The proposed sign area is 72.82 square feet included a 70.82 square foot wall sign and 2.62 square foot in awning letters. A special exception is requested from the Commercial Design Guidelines Chapter 6.2.5, Maximum Letter height to allow the proposed signage to exceed the maximum allowed letter height. The Commercial Design Guidelines Chapter 6.2.5 require a maximum 12" letter height in the C-2 district is allowed where the proposed letter height is 2' 6" (30 inches).

Including the city's mandated 6" border around the copy of the proposed sign, this signage is proposed at an overall length of 20' 0 11/16" with an overall letter height of 3'6" and an overall square footage of 70.2 square feet. The business frontage measures 51'8", which would permit 51'8" square feet for allowable sign area. The actual square footage of the sign is 47.64 square feet; however, the required 6" border, per the Commercial Design Guidelines, around the sign copy added an additional 22.56 square feet of counted sign area, which cause the proposed signage to exceed the allowed square footage prescribed by code.

This building is set back from University Boulevard approximately 188 feet and proposes a unique challenge for visibility due to the multitude of mature trees and shopping center signage that blocks clear view from the roadway. The trees are fully grown and the foliage is full and blocks the visibility of any signage for this site. In addition, there is a shopping center sign that sits at the roadway in front of the tenant space the Sephora is occupying that prevents visibility of signage for drivers on University Boulevard.

This tenant space is unique from the other tenant spaces as it is a larger tenant space and has a pitched roof over the entryway that most of the other tenants do not have. This design feature provides a unique opportunity to showcase a well-designed sign that is in proportion to the open space that the pitched roof provides. The larger sign is visually more aesthetic than a smaller sign would be and fits the overall scale of the building face and pitched roof design. A smaller sign would look out of place amongst the large pitched roof space over the entryway.

Standard 12" letters would not be able to be seen from vehicular traffic passing along University Boulevard because of these two factors, which would prevent Sephora from being able to adequately identify their business location to vehicular traffic. One of the purposes of signage is to be able to help travelers quickly identify the location of stores as they travel so as to prevent traffic incidents. In this case, it would be difficult for a traveler to identify Sephora's location with the required 12" letter height as the sign would not be easily visible from the roadway. Sephora's proposed larger letter height of 2'6" would provide a sign that is more easily visible through the foliage of the trees and existing shopping center sign.

There are other businesses in the area, both in the shopping center and in surrounding shopping centers that have signage that appears to exceed these same allowances. Photographs have been provided as reference. The granting of this variance for Sephora's signage would not grant special privileges that other surrounding properties do not also enjoy. Instead, it would allow Sephora to be able to adequately identify their business to vehicular and pedestrian traffic traveling along University Boulevard where the strict application of the code would inhibit this ability and deprive Sephora of the ability to advertise their business to this pedestrian and vehicular traffic.

With your approval of the additional letter height and sign area, the signage would be able to provide vehicular traffic the opportunity to more quickly and safely identify Sephora's location in order to be able to safely arrive at the destination without causing traffic delays or cause additional risks for vehicular traffic. The signage is still tasteful and aesthetically pleasing at the proposed letter height and will not detract from the overall look of the building, but rather enhance the purpose of the shopping center by allowing Sephora to be able to adequately advertise their business while maintaining a visibly pleasing exterior appearance that other businesses in the shopping center and nearby shopping centers enjoy.

Thank you for your time and consideration.

Sincerely,

Peter Liu  
SR Store Design Manager  
Sephora USA

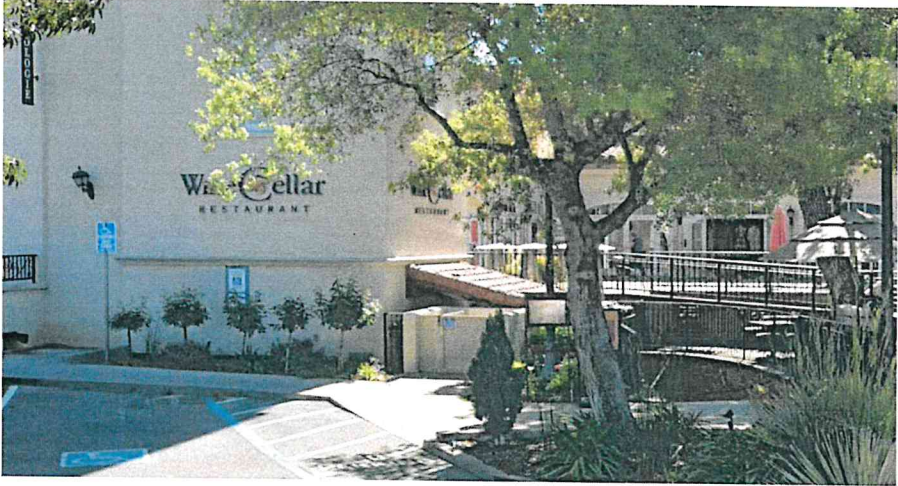


Sephora Building Images 50 University Ave #B260





Other Tenant Spaces 50 University Ave Los Gatos, CA



## Nearby Business Signage



Steamer's Grillhouse 31 University Ave

Sur La Table 23 University Ave



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**RE: [EXTERNAL] Re: Sephora Old Town Center\_Los Gatos: Request for Variance to Sign height**

1 message

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Baruah, Indrani <indrani.baruah@sephora.com>  
To: andrew lloyd <andrew@theaudl.com>  
Cc: "lcrass@jonessign.com" <lcrass@jonessign.com>

Fri, Jun 5, 2020 at 11:36 AM

Thanks much for your response Andrew !

Regards,

INDRANI BARUAH, LEED® AP | STORE DESIGN MANAGER | STORE PLANNING & DESIGN

**SEPHORA** | office: 415.284.6228 | m. 510.684.1539 | [indrani.baruah@Sephora.com](mailto:indrani.baruah@Sephora.com) | 525 Market St. 11<sup>th</sup> Fl. San Francisco, CA 94105

*"That which isn't good for the hive, isn't good for the bee" Marcus Aurelius*

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**From:** andrew lloyd [mailto:[andrew@theaudl.com](mailto:andrew@theaudl.com)]  
**Sent:** Thursday, June 4, 2020 4:46 PM  
**To:** Baruah, Indrani <[indrani.baruah@sephora.com](mailto:indrani.baruah@sephora.com)>  
**Subject:** [EXTERNAL] Re: Sephora Old Town Center\_Los Gatos: Request for Variance to Sign height

Hi Indrani.

We are American Ultimate Disc League from Suite 144 and we are happy to agree to your new proposed signage.

Look forward to your opening.

Cheers,

Andrew

Andrew Lloyd  
VP Finance and Operations, CFO  
American Ultimate Disc LEague, LLC  
4087990099

On Thu, Jun 4, 2020 at 1:13 PM Baruah, Indrani <[indrani.baruah@sephora.com](mailto:indrani.baruah@sephora.com)> wrote:

Dear Tenant of the Old Town Center,

This is regarding a variance requested by Sephora from the Town Code Section 29.10.135 (c)(2) to exceed the maximum allowable sign area. The Sephora team earnestly requests your written consent to the additional letter height and sign area as outlined in the attached 'Letter of Justification for Exception to Commercial Design Guidelines for 50 University Ave. #B260'. Also attached are renderings of the Sephora Los Gatos façade showing the 12" high sign and the new proposed 30" high sign (variance) respectively for your reference.

The City is requesting that we get feedback and consent from the other tenants in the Old Town Center in order for them to approve our application. Please send us your response back to me via email at your earliest convenience.

Thanks in advance for your time and consideration,

Sincerely,

Indrani Baruah

Regards,

INDRANI BARUAH, LEED® AP | STORE DESIGN MANAGER | STORE PLANNING & DESIGN

**SEPHORA** | office: 415.284.6228 | m. 510.684.1539 | [indrani.baruah@Sephora.com](mailto:indrani.baruah@Sephora.com) | [525 Market St.](#) 11<sup>th</sup> Fl. San Francisco, CA 94105

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**Sephora at Old Town Center, 50 University Avenue, Los Gatos CA - proposed signage variance...**

1 message

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Hector Pacheco <HPacheco@urbn.com>

Tue, Jun 23, 2020 at 9:16 AM

To: "natalia.shorten@sephora.com" <natalia.shorten@sephora.com>, "indrani.baruah@sephora.com" <indrani.baruah@sephora.com>

Cc: Adam Moyer <AMoyer@urbn.com>, Courtney Silicato <CSilicato@anthropologie.com>, "lcrass@jonessign.com" <lcrass@jonessign.com>

Hello Natalia/Indrani,

In response to your variance request memo, dated 4-June 2020, Anthropologie (also a Tenant at Old Town Center, Los Gatos CA) does not object to your application for the increased letter dimensions, as proposed for the sign to be located on your premises.

**Please also note that our response does not constitute any sort of signage approval as required by I) the governing jurisdiction, or II) your lease obligations/agreement with Old Town Center.**

Regards,

Hector Pacheco  
Director

Global Predevelopment

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URBN Urban Outfitters Inc.  
[5000 South Broad Street](#)  
Philadelphia, PA 19112-1495  
us tel: +1 215 454 7161  
uk tel: +44 (0) 20 3119 2976

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**CONFIDENTIALITY NOTICE:** The contents of this email message and any attachments are intended solely for the addressee(s) and may contain **confidential** and/or privileged information and may be legally protected from disclosure.

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**3 attachments**



**Sephora Los Gatos\_Letter to Tenants of Old Town Center.pdf**  
288K



**Sephora\_Los Gatos, CA\_Los Gatos Palms\_12\_Inch\_sign.pdf**  
462K



**Sephora\_Los Gatos, CA\_Los Gatos Palms\_30\_Inch\_sign\_variance.pdf**  
420K

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**Re: Sephora Old Town Center\_Los Gatos: Request for Variance to Sign height**

1 message

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**00191 - Chico's Old Town Center** <store.00191@chicos.com>  
To: Lindsey Crass <lcrass@jonessign.com>

Wed, Jun 17, 2020 at 7:26 PM

We support your sign.  
Lisa

Chico's Los Gatos #191  
50 University Ave. Suite A285  
Los Gatos, CA 95030  
(408)395-9002  
Store.00191@chicos.com  
www.chicos.com

On Jun 17, 2020, at 10:22 AM, Lindsey Crass <lcrass@jonessign.com> wrote:

**EXTERNAL EMAIL** - This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Lisa,

Thank you for taking my call.  
I have reattached the docs for you.  
Thank you for forwarding to your corporate office personnel.

Have a great day.

Stay Safe & Healthy.  
Thank you,

**Lindsey Crass** | Project Manager  
**Jones Sign**  
Your Vision. Accomplished.  
Direct: 920-425-9907  
Cell: 920-470-0347  
De Pere, WI Office  
www.jonessign.com

On Wed, Jun 10, 2020 at 3:04 PM Lindsey Crass <lcrass@jonessign.com> wrote:

Good afternoon,

Just a kind follow up requesting any feedback or consent that can be provided. Your opinion and feedback matter. Have a wonderful day.

Stay Safe & Healthy.  
Thank you,

**Lindsey Crass** | Project Manager  
**Jones Sign**  
Your Vision. Accomplished.  
Direct: 920-425-9907  
Cell: 920-470-0347  
De Pere, WI Office  
www.jonessign.com



On Thu, Jun 4, 2020 at 3:06 PM Baruah, Indrani <[indrani.baruah@sephora.com](mailto:indrani.baruah@sephora.com)> wrote:

Dear Tenant of the Old Town Center,

This is regarding a variance requested by Sephora from the Town Code Section 29.10.135 (c)(2) to exceed the maximum allowable sign area. The Sephora team earnestly requests your written consent to the additional letter height and sign area as outlined in the attached 'Letter of Justification for Exception to Commercial Design Guidelines for 50 University Ave. #B260'. Also attached are renderings of the Sephora Los Gatos façade showing the 12" high sign and the new proposed 30" high sign (variance) respectively for your reference.

The City is requesting that we get feedback and consent from the other tenants in the Old Town Center in order for them to approve our application. Please send us your response back to me via email at your earliest convenience.

Thanks in advance for your time and consideration,

Sincerely,

Indrani Baruah

Regards,

INDRANI BARUAH, LEED® AP | STORE DESIGN MANAGER | STORE PLANNING & DESIGN

**SEPHORA** | office: 415.284.6228 | m. 510.684.1539 | [indrani.baruah@sephora.com](mailto:indrani.baruah@sephora.com) | 525 Market St. 11<sup>th</sup> Fl. San Francisco, CA 94105

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<Sephora\_Los Gatos\_Letter to Tenants of Old Town Center.pdf>  
<Sephora\_Los Gatos, CA\_Los Gatos Palms\_12\_Inch\_sign.pdf>  
<Sephora\_Los Gatos, CA\_Los Gatos Palms\_30\_Inch\_sign\_variance.pdf>

---

**RE: Sephora Old Town Center\_Los Gatos: Request for Variance to Sign height**

1 message

Jason@clidropwm.com <jason@clidropwm.com>  
To: indrani.baruah@sephora.com  
Cc: lcrass@jonessign.com

Fri, Jun 5, 2020 at 9:14 AM

Looks good to me.

Clidro PWM suite 103B

**JASON DROTAR**

*PIM Portfolio Manager, Managing Director*

CLIDRO Private Wealth Management  
50 University Ave., Suite 103 | Los Gatos, CA 95030  
Direct 408.340.9641 | Main 408.340.9640 | Fax 408.402.3273

[jason@clidropwm.com](mailto:jason@clidropwm.com)  
[www.clidropwm.com](http://www.clidropwm.com)

**From:** Baruah, Indrani <indrani.baruah@sephora.com>  
**Sent:** Thursday, June 4, 2020 1:06 PM  
**Cc:** Lindsey Crass <lcrass@jonessign.com>  
**Subject:** Sephora Old Town Center\_Los Gatos: Request for Variance to Sign height  
**Importance:** High

Dear Tenant of the Old Town Center,

This is regarding a variance requested by Sephora from the Town Code Section 29.10.135 (c)(2) to exceed the maximum allowable sign area. The Sephora team earnestly requests your written consent to the additional letter height and sign area as outlined in the attached 'Letter of Justification for Exception to Commercial Design Guidelines for 50 University Ave. #B260'. Also attached are renderings of the Sephora Los Gatos façade showing the 12" high sign and the new proposed 30" high sign (variance) respectively for your reference.

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Sincerely,

Indrani Baruah

Regards,

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**SEPHORA** | office: 415.284.6228 | m. 510.684.1539 | [indrani.baruah@Sephora.com](mailto:indrani.baruah@Sephora.com) | 525 Market St. 11<sup>th</sup> Fl. San Francisco, CA 94105

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**RE: Sephora Old Town Center\_Los Gatos: Request for Variance to Sign height**

1 message

---

dmoshy@comcast.net <dmoshy@comcast.net>

Wed, Jun 10, 2020 at 3:21 PM

To: Lindsey Crass <lcrass@jonessign.com>, "Baruah, Indrani" <indrani.baruah@sephora.com>, Sephora <sephora@jonessign.com>

I agree to the signage.

Doug Moshy

408-399-1900

**From:** Lindsey Crass <lcrass@jonessign.com>

**Sent:** Wednesday, June 10, 2020 1:04 PM

**To:** Baruah, Indrani <indrani.baruah@sephora.com>; Sephora <sephora@jonessign.com>

**Subject:** Re: Sephora Old Town Center\_Los Gatos: Request for Variance to Sign height

Good afternoon,

Just a kind follow up requesting any feedback or consent that can be provided. Your opinion and feedback matter. Have a wonderful day.

Stay Safe & Healthy.

Thank you,

Lindsey Crass | Project Manager

## Jones Sign

Your Vision. Accomplished.

Direct: 920-425-9907

Cell: 920-470-0347

De Pere, WI Office

[www.jonessign.com](http://www.jonessign.com)

On Thu, Jun 4, 2020 at 3:06 PM Baruah, Indrani <indrani.baruah@sephora.com> wrote:

Dear Tenant of the Old Town Center,

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Sincerely,



Indrani Baruah

Regards,

INDRANI BARUAH, LEED® AP | STORE DESIGN MANAGER | STORE PLANNING & DESIGN

**SEPHORA** | office: 415.284.6228 | m. 510.684.1539 | [indrani.baruah@sephora.com](mailto:indrani.baruah@sephora.com) | [525 Market St.](#) 11<sup>th</sup> Fl. San Francisco, CA 94105

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**Re: Sephora Old Town Center\_Los Gatos: Request for Variance to Sign height**

1 message

Manny Bulotano <manny.bulotano@connectandsell.com>

Fri, Jun 5, 2020 at 1:25 PM

To: "Baruah, Indrani" <indrani.baruah@sephora.com>

Cc: Lindsey Crass <lcrass@jonessign.com>, Kerry Bruce <kbruce@federalrealty.com>, Manny Bulotano <manny.bulotano@connectandsell.com>

Disapproving for a bigger sign.

Manny Bulotano | CFO  
ConnectAndSell, Inc.  
Tel: (650) 425-9794  
[www.connectandsell.com](http://www.connectandsell.com)

On Fri, Jun 5, 2020 at 11:21 AM Baruah, Indrani <indrani.baruah@sephora.com> wrote:

Dear Tenant of the Old Town Center,

This is regarding a variance requested by Sephora from the Town Code Section 29.10.135 (c)(2) to exceed the maximum allowable sign area. The Sephora team earnestly requests your written consent to the additional letter height and sign area as outlined in the attached 'Letter of Justification for Exception to Commercial Design Guidelines for 50 University Ave. #B260'. Also attached are renderings of the Sephora Los Gatos façade showing the 12" high sign and the new proposed 30" high sign (variance) respectively for your reference.

The City is requesting that we get feedback and consent from the other tenants in the Old Town Center in order for them to approve our application. Please send us your response back to me via email at your earliest convenience.

Thanks in advance for your time and consideration,

Sincerely,

Indrani Baruah

Regards,

INDRANI BARUAH, LEED® AP | STORE DESIGN MANAGER | STORE PLANNING & DESIGN

**SEPHORA** | office: 415.284.6228 | m. 510.684.1539 | [indrani.baruah@sephora.com](mailto:indrani.baruah@sephora.com) | 525 Market St. 11<sup>th</sup> Fl. San Francisco, CA 94105

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---

**Re: Sephora Old Town Center\_Los Gatos: Request for Variance to Sign height**

1 message

Jay Kruse <jay@eero.com>

Fri, Jun 12, 2020 at 4:25 PM

To: Lindsey Crass <lcrass@jonessign.com>

Cc: "Baruah, Indrani" <indrani.baruah@sephora.com>, Sephora <sephora@jonessign.com>

After a quick discussion with Indrani, eero would be ok with a compromise in size between the two options. Have a great weekend.

On Jun 11, 2020, at 2:35 PM, Jay Kruse <jay@eero.com> wrote:

eero would prefer the smaller signage. Keeping with the spirit of the building as a historic spot.

On Jun 10, 2020, at 1:04 PM, Lindsey Crass <lcrass@jonessign.com> wrote:

Good afternoon,

Just a kind follow up requesting any feedback or consent that can be provided. Your opinion and feedback matter. Have a wonderful day.

Stay Safe & Healthy.

Thank you,

Lindsey Crass | Project Manager

**Jones Sign**

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Direct: 920-425-9907

Cell: 920-470-0347

De Pere, WI Office

[www.jonessign.com](http://www.jonessign.com)

On Thu, Jun 4, 2020 at 3:06 PM Baruah, Indrani <indrani.baruah@sephora.com> wrote:

Dear Tenant of the Old Town Center,

This is regarding a variance requested by Sephora from the Town Code Section 29.10.135 (c)(2) to exceed the maximum allowable sign area. The Sephora team earnestly requests your written consent to the additional letter height and sign area as outlined in the attached 'Letter of Justification for Exception to Commercial Design Guidelines for 50 University Ave. #B260'. Also attached are renderings of the Sephora Los Gatos façade showing the 12" high sign and the new proposed 30" high sign (variance) respectively for your reference.

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Thanks in advance for your time and consideration,

Sincerely,

Indrani Baruah

Regards,

INDRANI BARUAH, LEED® AP | STORE DESIGN MANAGER | STORE PLANNING & DESIGN

**SEPHORA** | office: 415.284.6228 | m. 510.684.1539 | [indrani.baruah@sephora.com](mailto:indrani.baruah@sephora.com) | 525 Market St. 11th Fl. San Francisco, CA 94105

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<Sephora Los Gatos\_Letter to Tenants of Old Town Center.pdf><Sephora\_Los Gatos, CA\_Los Gatos Palms\_12\_Inch\_sign.pdf><Sephora\_Los Gatos, CA\_Los Gatos Palms\_30\_Inch\_sign\_variance.pdf>



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**RE: HP\* Sephora Old Town Center\_Los Gatos: Request for Variance to Sign height**

1 message

---

**Amy Baur** <ABaur@fusionacademy.com>  
To: Lindsey Crass <lcrass@jonessign.com>

Mon, Jun 22, 2020 at 2:13 PM

Hello Lindsay,

I am okay with the larger sign.

Best,

**Amy Baur**

Head of School

Fusion Los Gatos

408-354-0743

**From:** Lindsey Crass <lcrass@jonessign.com>  
**Sent:** Monday, June 22, 2020 12:04 PM  
**To:** Baruah, Indrani <indrani.baruah@sephora.com>; Sephora <sephora@jonessign.com>  
**Subject:** HP\* Sephora Old Town Center\_Los Gatos: Request for Variance to Sign height

Good afternoon,

We hope all of our new neighbors are doing well in the Los Gatos Old Town Center.

We are asking once more for review of the email below and attachments.

Any and all feedback and thoughts are welcome and we truly appreciate the help.

Please reply if possible by tomorrow. Thank you all and be well.

**PTO ALERT 6/29- 7/3**

**Stay Safe & Healthy.**

Thank you,

**Lindsey Crass** | Project Manager

**Jones Sign**

**Your Vision. Accomplished.**

Direct: 920-425-9907

Cell: 920-470-0347

De Pere, WI Office

[www.jonessign.com](http://www.jonessign.com)

----- Forwarded message -----

From: Baruah, Indrani <[indrani.baruah@sephora.com](mailto:indrani.baruah@sephora.com)>

Date: Thu, Jun 4, 2020 at 3:06 PM

Subject: Sephora Old Town Center\_Los Gatos: Request for Variance to Sign height

To:

Cc: Lindsey Crass <[lcrass@jonessign.com](mailto:lcrass@jonessign.com)>

Dear Tenant of the Old Town Center,

This is regarding a variance requested by Sephora from the Town Code Section 29.10.135 (c)(2) to exceed the maximum allowable sign area. The Sephora team earnestly requests your written consent to the additional letter height and sign area as outlined in the attached 'Letter of Justification for Exception to Commercial Design Guidelines for 50 University Ave. #B260'. Also attached are renderings of the Sephora Los Gatos façade showing the 12" high sign and the new proposed 30" high sign (variance) respectively for your reference.

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Thanks in advance for your time and consideration,

Sincerely,

Indrani Baruah

Regards,

INDRANI BARUAH, LEED® AP | STORE DESIGN MANAGER | STORE PLANNING & DESIGN

**SEPHORA** | office: 415.284.6228 | m. 510.684.1539 | [indrani.baruah@Sephora.com](mailto:indrani.baruah@Sephora.com) | 525 Market St. 11<sup>th</sup> Fl. San Francisco, CA 94105

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**RE: Sephora Old Town Center\_Los Gatos: Request for Variance to Sign height**

1 message

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**Olympia Bliss** <olympia@shorevest.com>  
To: "Baruah, Indrani" <indrani.baruah@sephora.com>  
Cc: Lindsey Crass <lcrass@jonessign.com>

Mon, Jun 15, 2020 at 2:44 PM

We don't have an opinion

Sent from my Verizon, Samsung Galaxy smartphone

----- Original message -----

From: "Baruah, Indrani" <indrani.baruah@sephora.com>  
Date: 6/15/20 12:42 PM (GMT-08:00)  
To: Olympia Bliss <olympia@shorevest.com>  
Cc: Lindsey Crass <lcrass@jonessign.com>  
Subject: Sephora Old Town Center\_Los Gatos: Request for Variance to Sign height

Dear Tenant of the Old Town Center,

This is regarding a variance requested by Sephora from the Town Code Section 29.10.135 (c)(2) to exceed the maximum allowable sign area. The Sephora team earnestly requests your written consent to the additional letter height and sign area as outlined in the attached 'Letter of Justification for Exception to Commercial Design Guidelines for 50 University Ave. #B260'. Also attached are renderings of the Sephora Los Gatos façade showing the 12" high sign and the new proposed 30" high sign (variance) respectively for your reference.

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Thanks in advance for your time and consideration,

Sincerely,

Indrani Baruah

Regards,

INDRANI BARUAH, LEED® AP | STORE DESIGN MANAGER | STORE PLANNING & DESIGN

**SEPHORA** | office: 415.284.8228 | m. 510.684.1539 | [indrani.baruah@sephora.com](mailto:indrani.baruah@sephora.com) | 525 Market St. 11<sup>th</sup> Fl. San Francisco, CA 94105

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To the Members of the  
Los Gatos Town Council  
Los Gatos Planning Commission

June 16, 2020

As an established business located in Old Town Shopping Center, We agree to and are consenting to the request being made by Sephora to exceed the maximum allowable signage area currently allowed.

By increasing the signage, shoppers will be to locate and see their location easier, whether they are walking through the center or driving by on the street, promoting business in the center and in the downtown area, as well.

Sincerely  
Linda, Mark & Paul Matulich  
Owners  
Steamer's The Grillhouse  
Old Town Shopping Center  
Los Gatos CA



---

**RE: [EXTERNAL] Re: Sephora Old Town Center\_Los Gatos: Request for Variance to Sign height**

1 message

---

**Baruah, Indrani** <indrani.baruah@sephora.com>  
To: "steamersoffice@aol.com" <steamersoffice@aol.com>  
Cc: Lindsey Crass <lcrass@jonessign.com>

Tue, Jun 16, 2020 at 4:06 PM

Hi Linda,

Thanks a lot for taking the time yesterday to speak with me !

Thanks for sending the letter – really appreciate it !

Regards,

INDRANI BARUAH, LEED® AP | STORE DESIGN MANAGER | STORE PLANNING & DESIGN

**SEPHORA** | office: 415.284.6228 | m. 510.684.1539 | [indrani.baruah@sephora.com](mailto:indrani.baruah@sephora.com) | 525 Market St. 11<sup>th</sup> Fl. San Francisco, CA 94105

*"That which isn't good for the hive, isn't good for the bee" Marcus Aurelius*

---

**From:** [steamersoffice@aol.com](mailto:steamersoffice@aol.com) [mailto:[steamersoffice@aol.com](mailto:steamersoffice@aol.com)]  
**Sent:** Tuesday, June 16, 2020 1:57 PM  
**To:** Baruah, Indrani <[indrani.baruah@sephora.com](mailto:indrani.baruah@sephora.com)>  
**Subject:** [EXTERNAL] Re: Sephora Old Town Center\_Los Gatos: Request for Variance to Sign height

Hello Indrani,

Here is our letter of consent for your signage variance.

If there is anything else you may need to submit the application to the Town, please let us know .

We look forward to your opening !

Linda Matulich  
Steamer's The Grillhouse  
408.354.4522 Office  
408.354.4203 Fax

-----Original Message-----  
From: Baruah, Indrani <[indrani.baruah@sephora.com](mailto:indrani.baruah@sephora.com)>  
To: [steamersoffice@aol.com](mailto:steamersoffice@aol.com) <[steamersoffice@aol.com](mailto:steamersoffice@aol.com)>

Cc: Lindsey Crass <[lcrass@jonessign.com](mailto:lcrass@jonessign.com)>  
Sent: Mon, Jun 15, 2020 12:27 pm  
Subject: Sephora Old Town Center\_Los Gatos: Request for Variance to Sign height

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Thanks in advance for your time and consideration,

Sincerely,

Indrani Baruah

Regards,

INDRANI BARUAH, LEED® AP | STORE DESIGN MANAGER | STORE PLANNING & DESIGN

**SEPHORA** | office: 415.284.6228 | m. 510.684.1539 | [indrani.baruah@Sephora.com](mailto:indrani.baruah@Sephora.com) | 525 Market St. 11<sup>th</sup> Fl. San Francisco, CA 94105

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 **Sephora Exception to signage Consent.docx**  
29K

---

**RE: Sephora Old Town Center\_Los Gatos: Request for Variance to Sign height**

1 message

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**Baruah, Indrani** <indrani.baruah@sephora.com>  
To: Maria Manning Chapman <maria.chapman@tsia.com>  
Cc: "lcrass@jonessign.com" <lcrass@jonessign.com>

Fri, Jun 5, 2020 at 11:35 AM

Thanks much for your response Maria !

Regards,

INDRANI BARUAH, LEED® AP | STORE DESIGN MANAGER | STORE PLANNING & DESIGN

**SEPHORA** | office: 415.284.6228 | m. 510.684.1539 | [indrani.baruah@Sephora.com](mailto:indrani.baruah@Sephora.com) | [525 Market St.](#) 11<sup>th</sup> Fl. San Francisco, CA 94105

*"That which isn't good for the hive, isn't good for the bee" Marcus Aurelius*

---

**From:** Maria Manning Chapman [mailto:[maria.chapman@tsia.com](mailto:maria.chapman@tsia.com)]  
**Sent:** Thursday, June 4, 2020 5:46 PM  
**To:** Baruah, Indrani <[indrani.baruah@sephora.com](mailto:indrani.baruah@sephora.com)>  
**Subject:** [EXTERNAL] RE: Sephora Old Town Center\_Los Gatos: Request for Variance to Sign height

Yes – that would be fine.

Maria Manning-Chapman

VP Research, Education Services

408-822-9584 (office)

408-813-7979 (cell)

408-354-7609 (fax)

Subscribe to our blog | [www.tsia.com](http://www.tsia.com)



**From:** Baruah, Indrani <[indrani.baruah@sephora.com](mailto:indrani.baruah@sephora.com)>  
**Sent:** Thursday, June 4, 2020 5:21 PM  
**To:** Maria Manning Chapman <[maria.chapman@tsia.com](mailto:maria.chapman@tsia.com)>  
**Subject:** RE: Sephora Old Town Center\_Los Gatos: Request for Variance to Sign height

[\*EXTERNAL EMAIL\*]

Hi Maria – Would you be ok with the sign proposed at 30" as well incase we're not able to use a 24" high sign?

Thanks !

Regards,

INDRANI BARUAH, LEED® AP | STORE DESIGN MANAGER | STORE PLANNING & DESIGN

**SEPHORA** | office: 415.284.6228 | m. 510.684.1539 | [indrani.baruah@Sephora.com](mailto:indrani.baruah@Sephora.com) | 525 Market St. 11<sup>th</sup> Fl. San Francisco, CA 94105

*"That which isn't good for the hive, isn't good for the bee" Marcus Aurelius*

---

**From:** Baruah, Indrani  
**Sent:** Thursday, June 4, 2020 2:41 PM  
**To:** Maria Manning Chapman <[maria.chapman@tsia.com](mailto:maria.chapman@tsia.com)>  
**Subject:** RE: Sephora Old Town Center\_Los Gatos: Request for Variance to Sign height

Thanks for your feedback Maria !

Regards,

INDRANI BARUAH, LEED® AP | STORE DESIGN MANAGER | STORE PLANNING & DESIGN

**SEPHORA** | office: 415.284.6228 | m. 510.684.1539 | [indrani.baruah@Sephora.com](mailto:indrani.baruah@Sephora.com) | 525 Market St. 11<sup>th</sup> Fl. San Francisco, CA 94105

*"That which isn't good for the hive, isn't good for the bee" Marcus Aurelius*

---

**From:** Maria Manning Chapman [<mailto:maria.chapman@tsia.com>]  
**Sent:** Thursday, June 4, 2020 2:02 PM  
**To:** Baruah, Indrani <[indrani.baruah@sephora.com](mailto:indrani.baruah@sephora.com)>  
**Subject:** [EXTERNAL] RE: Sephora Old Town Center\_Los Gatos: Request for Variance to Sign height

Something in between the two sizes might be better. The original lettering is too small for the façade of the building. The adjusted size though looks too big. I don't know anything about what someone thinks about when determining what size lettering should be for a building, so I'm not speaking from anything other than how it looks visually to me. Maybe 24" versus 30".

M.

Maria Manning-Chapman

VP Research, Education Services

408-822-9584 (office)

408-813-7979 (cell)

408-354-7609 (fax)

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**From:** Baruah, Indrani <[indrani.baruah@sephora.com](mailto:indrani.baruah@sephora.com)>  
**Sent:** Thursday, June 4, 2020 1:06 PM  
**Cc:** Lindsey Crass <[lcrass@jonessign.com](mailto:lcrass@jonessign.com)>  
**Subject:** Sephora Old Town Center\_Los Gatos: Request for Variance to Sign height  
**Importance:** High

[\*EXTERNAL EMAIL\*]

Dear Tenant of the Old Town Center,

This is regarding a variance requested by Sephora from the Town Code Section 29.10.135 (c)(2) to exceed the maximum allowable sign area. The Sephora team earnestly requests your written consent to the additional letter height and sign area as outlined in the attached 'Letter of Justification for Exception to Commercial Design Guidelines for 50 University Ave. #B260'. Also attached are renderings of the Sephora Los Gatos façade showing the 12" high sign and the new proposed 30" high sign (variance) respectively for your reference.

The City is requesting that we get feedback and consent from the other tenants in the Old Town Center in order for them to approve our application. Please send us your response back to me via email at your earliest convenience.

Thanks in advance for your time and consideration,

Sincerely,

Indrani Baruah

Regards,

INDRANI BARUAH, LEED® AP | STORE DESIGN MANAGER | STORE PLANNING & DESIGN

**SEPHORA** | office: 415.284.6228 | m. 510.664.1539 | [indrani.baruah@Sephora.com](mailto:indrani.baruah@Sephora.com) | 525 Market St. 11<sup>th</sup> Fl. San Francisco, CA 94105

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**RE: Sephora Old Town Center\_Los Gatos: Request for Variance to Sign height**

1 message

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**Baruah, Indrani** <indrani.baruah@sephora.com>  
**To: Maria Manning Chapman** <maria.chapman@tsia.com>

Thu, Jun 4, 2020 at 4:41 PM

Thanks for your feedback Maria !

Regards,

INDRANI BARUAH, LEED® AP | STORE DESIGN MANAGER | STORE PLANNING & DESIGN

**SEPHORA** | office: 415.284.6228 | m. 510.684.1539 | [indrani.baruah@sephora.com](mailto:indrani.baruah@sephora.com) | 525 Market St. 11<sup>th</sup> Fl. San Francisco, CA 94105

*"That which isn't good for the hive, isn't good for the bee" Marcus Aurelius*

---

**From:** Maria Manning Chapman [<mailto:maria.chapman@tsia.com>]  
**Sent:** Thursday, June 4, 2020 2:02 PM  
**To:** Baruah, Indrani <[indrani.baruah@sephora.com](mailto:indrani.baruah@sephora.com)>  
**Subject:** [EXTERNAL] RE: Sephora Old Town Center\_Los Gatos: Request for Variance to Sign height

Something in between the two sizes might be better. The original lettering is too small for the façade of the building. The adjusted size though looks too big. I don't know anything about what someone thinks about when determining what size lettering should be for a building, so I'm not speaking from anything other than how it looks visually to me. Maybe 24" versus 30".

M.

Maria Manning-Chapman  
VP Research, Education Services  
408-822-9584 (office)  
408-813-7979 (cell)  
408-354-7609 (fax)  
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**From:** Baruah, Indrani <[indrani.baruah@sephora.com](mailto:indrani.baruah@sephora.com)>  
**Sent:** Thursday, June 4, 2020 1:06 PM  
**From:** Lindsey Crass <[lcrass@jonessign.com](mailto:lcrass@jonessign.com)>

**Subject:** Sephora Old Town Center\_Los Gatos: Request for Variance to Sign height  
**Importance:** High

[\*EXTERNAL EMAIL\*]

Dear Tenant of the Old Town Center,

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Thanks in advance for your time and consideration,

Sincerely,

Indrani Baruah

Regards,

INDRANI BARUAH, LEED® AP | STORE DESIGN MANAGER | STORE PLANNING & DESIGN

**SEPHORA** | office: 415.284.6228 | m. 510.684.1539 | [indrani.baruah@Sephora.com](mailto:indrani.baruah@Sephora.com) | 525 Market St. 11<sup>th</sup> Fl. San Francisco, CA 94105

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**Re: Sephora Old Town Center\_Los Gatos: Request for Variance to Sign height**

1 message

**Wine Cellar Restaurant** <lisa@winecellarosgatos.com>

Wed, Jun 17, 2020 at 9:51 PM

To: "Baruah, Indrani" <indrani.baruah@sephora.com>, Sephora <sephora@jonessign.com>, Lindsey Crass <lcrass@jonessign.com>

Cc: Julie Hauck <julie@winecellarosgatos.com>, Steve Hauck - Wine Cellar <steve@winecellarosgatos.com>, Larry Hauck <larry@winecellarosgatos.com>

Hello!

We are very excited to have Sephora here in Old Town and anxious for the completion of construction and the grand opening! As you can imagine, we have been preoccupied with everything going on here lately and I apologize for the delay.

I have discussed the proposed sign with my partners, Larry, Steve and Julie this afternoon. While we understand your concerns and we also think 12" is way too small, we do think the 30" is very large and doesn't fit with the other signs within the shopping center. Also, it's important to note that the Old Town arch is actually more in front of our building so it doesn't block visibility to the Sephora building/entrance as you mention in your letter - see attached.

Our sign has a 17" letter "W" and about a 24" letter "C", while all other letters are significantly smaller. This was the largest we were allowed - see attached. We would fully support a 24" letter height which would be more in line with the old California Cafe sign that was located in the same spot - see attached.

Please let me know if we can answer any further questions and we hope this is helpful to you!

Again, looking forward to welcoming you to the center.

Thank you and Warm Regards,

**Lisa Hauck-Alvarez**

*Owner*

**Wine Cellar Restaurant**

50 University Avenue, Suite 180

Los Gatos, CA 95030

T: (408)354-4808 F: (408)399-1914

[www.winecellarosgatos.com](http://www.winecellarosgatos.com)

[www.facebook.com/winecellarosgatos](https://www.facebook.com/winecellarosgatos)

On Wednesday, June 17, 2020, 10:42:52 AM PDT, Lindsey Crass <lcrass@jonessign.com> wrote:

Hello Lisa/Larry/Steve,

I tried to leave a voicemail this morning.

We are hoping to wrap up the cities requirements this week, and we would really love to hear from you and get your opinion and consent to our proposed signage.

Thank you in advance. Documents reattached. A simple email response would be just fine!

Have a nice day.

**Stay Safe & Healthy.**

Thank you,

**Lindsey Crass** | Project Manager

**Jones Sign**

Your Vision. Accomplished.

Direct: 920-425-9907

Cell: 920-470-0347

De Pere, WI Office

[www.jonessign.com](http://www.jonessign.com)

On Wed, Jun 10, 2020 at 3:04 PM Lindsey Crass <lcrass@jonessign.com> wrote:

Good afternoon,



Just a kind follow up requesting any feedback or consent that can be provided. Your opinion and feedback matter. Have a wonderful day.

Stay Safe & Healthy.  
Thank you,

Lindsey Crass | Project Manager

**Jones Sign**

Your Vision. Accomplished.

Direct: 920-425-9907

Cell: 920-470-0347

De Pere, WI Office

[www.jonessign.com](http://www.jonessign.com)

On Thu, Jun 4, 2020 at 3:06 PM Baruah, Indrani <[indrani.baruah@sephora.com](mailto:indrani.baruah@sephora.com)> wrote:

Dear Tenant of the Old Town Center,

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Sincerely,

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Regards,

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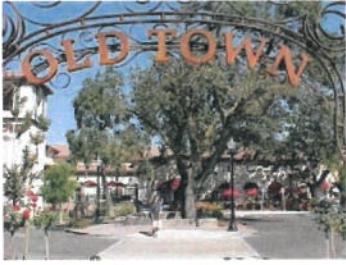
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**3 attachments**



**cal cafe sign.jpg**  
44K

**old town sign.jpg**  
73K



**IMG\_4406.jpg**  
155K

### OLD TOWN TENANT INFORMATION

STORE	SUITE #	MAIN CONTACT	EMAIL	ROLE	UPDATED	Comments
<u>ANTHROPOLOGIE</u> <u>AUDL LLC</u>	A280 B144	LISA JOHNSON/ JULIA MACDONALD ANDREW LLOYD	(408) 603-8751 / (408) 759-0698 (408) 799-0099	STORE MANAGER/ DEPARTMENT MANAGER OFFICE MANAGER ASSISTANT	Jun-20 approved Jun-20 approved	
<u>BANANA REPUBLIC</u>	E25	SERGIO ESTRELLA/ TARA PETERKIN	(408) 395-5944 / (408) 859-7887	MANAGER / GENERAL MANAGER	Jun-20	Three contact attempts. No final response.
<u>Bauen Capital CAPITAL</u> <u>CARD SCVVICC</u>	B311 156	IAN BARTH / RIAN BARTH DOUG	(408) 656-8933 / (408) 656-8932 (408) 205-0311	PARTNER OWNER STORE MANAGER/ ASST MANAGER	Jun-20 approved Jun-20 approved	Three contact attempts. No final response.
<u>CHICOS</u>	A285	LISA CHIRURGI / LISA ROSSELI	(408) 395-9002 (408) 505-1516 / (408)	OWNER / OWNER	Jun-20 approved	
<u>CLUIRO WEALTH MGMT</u>	103B	JD TESTA / JASON FROTAR	(408) 505-1516 / (408) 219-2401	OWNER / OWNER	Jun-20 approved	
<u>CONNECT AND SEL</u>	B-303,304,310,309	MANNY BULOTANO DUSTIN WALLACE /	(650) 425-9794 (408) 348-8364 / (408)	CFO OWNER / SALON	Jun-20	did not agree
<u>DUSTIN DAVID SALON</u> <u>EERO LLC</u>	230C 354B	STACY ZINN JAY KRUSE	455-2342 (408) 608-9025	MANAGER MANAGER	Jun-20 Jun-20	Three contact attempts. No final response. approved
<u>FRANCESCAS</u> <u>FUSION ACADEMEY</u>	E29 A300	LESLIE MOODY / CASSIDY APRODA AMY BAUER	(408) 836-3758 / (310) 347-6713 (503) 867-7877	B+L HEAD OF SCHOOL	Jun-20 Jun-20	Three contact attempts. No final response. approved
<u>GAP</u> <u>PURRE BARRE</u>	E39 B-101-102	PAULA LIMASA MAILE CHOCK	(408) 207-7871 / (800) 427-7895 (202) 821-3805	NONE LISTED OWNER	Jun-20 Jun-20	Three contact attempts. No final response. Three contact attempts. No final response.
<u>STEAMERS GRILLHOUSE</u> <u>SUN STONE</u> <u>SUR LATABLE</u>	E37 B146 E23	MARK MULNICH / PAUL MATULICH DAVID FORD DJ WOLFE	(408) 568-2527 / (408) 395-2722 (831) 238-4444 (408) 691-4780	OWNER OWNER ASM	Jun-20 Jun-20 Jun-20	approved Three contact attempts. No final response. Three contact attempts. No final response.
<u>SVP ADRIAN</u> <u>TALBOTS</u>	106B 250B	OLYMPIA BIBS / VIVANE MAO MONIKA / SHEANA	(650) 773-7860 / (408) 221-6751 (408) 202-9608 / (408) 691-5591	OPTICS MANAGER MANAGER	Jun-20 Jun-20	no opinion Three contact attempts. No final response.
<u>THREDUP</u> <u>TSIA</u>	B240 B346	SHALEAN MARAK / CHRISTINE BRADLEY MARIA CHAPMAN / GLENN GRAMLING	(530) 990-1261 / (512) 644-7457 (408) 822-9584 / (408) 455-2558	STORE MANAGER VP RE SEARCH / VP SALES	Jun-20 Jun-20	no longer a tenant approved
<u>WHITE HOUSE BLACK MARKET</u> <u>WINE CELLAR</u>	D210 180A	MICHELLE NORTON LARRY / STEVE	(239) 887-9169 (408) 354-4808 / (408) 472-0737	DSM OWNER / OWNER	Jun-20 Jun-20	Three contact attempts. No final response. comments





## OLD TOWN CENTER • LOS GATOS, CALIFORNIA • SIGNAGE PROGRAM

The Old Town Center signage program has been established to assure a professional and aesthetically pleasing identification and wayfinding system designed to mutually benefit all Tenants and the tenant's clientele. The intent is to provide the necessary guidelines to achieve a harmonious architecturally compatible environment. Only signs permitted by this document are authorized by Landlord and only to the extent of basic design. Three sets of complete sign plans for each tenant space must be submitted to Landlord for approval prior to construction or installation.

Because most tenants have their own graphic identities and logotypes, each sign will take on its own character, but will conform to a set of general guidelines. The signs will have a "village" feel. No neon, can signs, or internally lit signs should be installed. Most tenant signs will consist of individual pin-mounted letters indirectly lit with gooseneck lamps. The colors of the letters will be in contrast to the wall surface but will be complimentary to the building, trim, and awning colors.

### General Signage Information

Tenant will choose from two types of signs as follows. One or both may be used depending upon allowable square footage of sign area as per Los Gatos Town Code Zoning Regulations.

#### Primary Sign

Type A / Option 1 :

Individual cut letters

- 1/2inch metal or Sintra
- pin mounted 1inch from the wall surface
- gooseneck lighting

#### SIGN CRITERIA ADDENDA (dated August 1, 1998)

change to:

- pin mounted 2 - 3 inches from the wall surface

The letter style may be a specific version of Copperplate. Copperplate Gothic 30AB (see detail drawing Type A / Option 1 for a sample of the lettering style) or the lettering may be the specific logotype, as per Tenant's retail identity standards, pending approval by Landlord. Letter face and sides will be finished by one of three options: 1. painted to match the color of the window mullions 2. painted to match the exterior building accent color 3. copper verde finish 4. other: refer to SIGNAGE CRITERIA ADDENDA (dated July 1, 1998)

Corporate / retail logos and colors will be not be allowed on Type A (Primary Sign). Refer to Type B (Blade Sign) for logos and color variance.

The sign will be illuminated from above by gooseneck lamps painted to match the exterior building color. Both the manufacturer and model # of the lamp will be determined by Landlord.

Type A / Option 2 :  
(not preferred) Individual reverse pan-channel letters  
• halo-lit letters with solid opaque faces only

Color and letter style specifications apply as above in Type A / Option 1.  
Internal neon color to be warm white only.

Type A / Option 2 (above) is not recommended, but will be considered on an individual basis at the discretion of Landlord. This type of sign is not preferred and will be subject to additional discretionary review by the Los Gatos Town Code Zoning Regulations.

**Secondary Sign**

Type B : Two-sided hanging blade or single sided wall mounted  
• surface mounted (single face) or bracketed (double face) from the wall

Metal bracket and crown will be provided by Landlord. Tenant will provide a smooth surface panel sign. Corporate/retail logos and colors will be allowed on this sign as per Los Gatos Town Code Zoning Regulations. The panel is to be fabricated of metal or wood. Panel will be fastened to the preexisting frame as indicated in Type B (Blade Sign).

Refer to shop fabrication drawings, not with this document, for exact sizes.

*Addenda (July 1998):*

The Blade Sign (Type B) has been designed to accommodate various size tenant panels depending upon individual tenant needs and allowable square footage per tenant. The larger of the two sizes totals 16 sq.ft., and the smallest totals 10 sq. ft. for two sided Blade Signs. For consistent color, material, and style it is strongly recommended that all Blade Sign panels be fabricated by Muscato Signs.

The signmakers listed below have been approved by Landlord for Type A / Option 1 (Primary Sign) and Type B (inside panel of Blade Sign). They are familiar with the aspects of this criteria and specialize in the individual techniques required herein. This is a referral for Tenant convenience only. All other fabricators must be of a calibre consistent with the quality workmanship and expertise of these signmakers.

Thomas Swan Sign (Allen Thomas)

1117 Howard Street  
San Francisco, CA 94103  
FAX: 415.621.0481  
PHONE: 415.621.1511

Muscato Signs (Mike Muscato)

~~1585 Almaden Road~~ 1716 STONE AVE.  
San Jose, CA 95125 # F.  
FAX: 408.292.0209  
PHONE: 408.292.6995

### Size Limitations (as per Los Gatos Town Code Zoning Regulations)

Allowed sign area is one (1) square foot for each linear foot of primary business frontage plus one-half (1/2) square foot for each foot of secondary business frontage. Business Frontage is that portion of Tenant's leased space which faces a street, parking lot, pedestrian mall, arcade, or walkway. The primary business frontage is the one which contains a customer entrance or which includes a glass-enclosed showroom facing the street. If a space has more than one (1) business frontage with a customer entrance, Landlord must designate one (1) of them as the primary business frontage. All other business frontage is secondary frontage. Tenant shall be allowed multiple signs on any frontage, as long as their total sign area does not exceed their allowed maximum per frontage. Hanging blade signs (Type B) will have both sides calculated into the overall allowable square footage, even if one side is blank.

### Installation

- Tenants shall be responsible for securing and paying all town permits and installation of approved signage. At expiration or early termination of lease, Tenant shall remove its signage and return the affected area to original condition.
- Tenant is required to install signage prior to opening for business or commencement of lease, whichever comes first.
- All internally illuminated signs (Type A / Option 2 ) are to be manufactured and installed per the National Electric Code Section 600, Underwriters Labs Section #4 and bear the "Electric Sign Section" label and the appropriate manufacturers label on each letter or section.

## **Additional Signage**

### **Window Signs**

Window Signs are allowable, providing they do not exceed 25% of the window area. Window signs are not included in the total square foot allowances as per Los Gatos Town Code Zoning Regulations.

### **Awning Signs**

Type, logos, or contrasting colors applied to awning surface will be included in the total square footage as per Los Gatos Town Code Zoning Regulations.

### **Addendum:**

GapKids may use a “navy blue” awning with white silkscreened logotype as their primary sign.

All other signs must meet Los Gatos Town Code Zoning Regulations and have Landlord approval.

All tenants must acquire sign permits from the Town of Los Gatos meeting the Los Gatos Town Code Zoning Regulations. The Old Town Signage Program was approved, in general substance, by the Town of Los Gatos

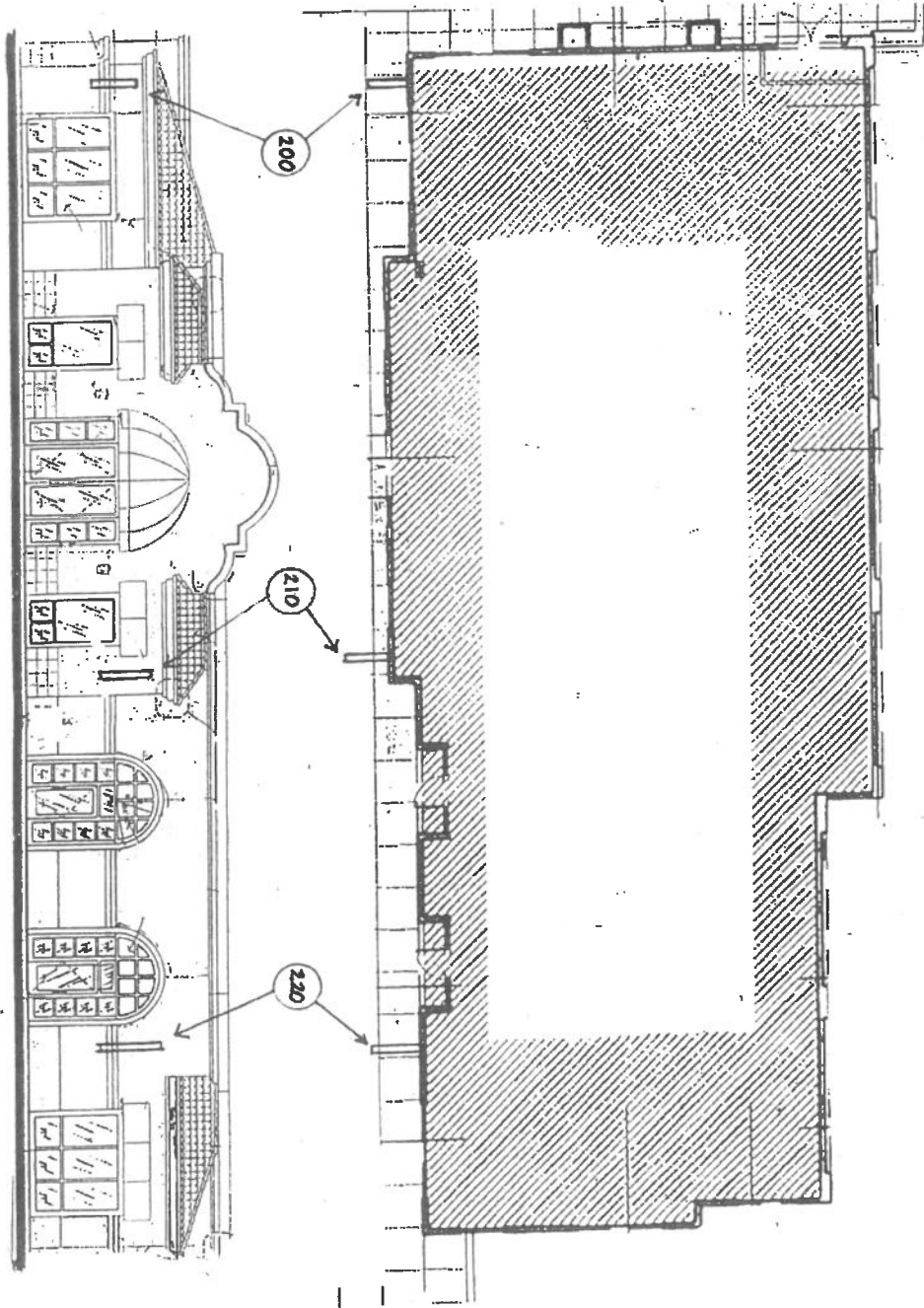


# Old Town Tenant Blade Sign Matrix (updated 3.12.99 • This replaces all previous versions.)

This matrix serves as a guide for placement only and is not intended to designate allowable signage as per the Town of Los Gatos. Tenant is responsible for landlord approvals and Town of Los Gatos permits.

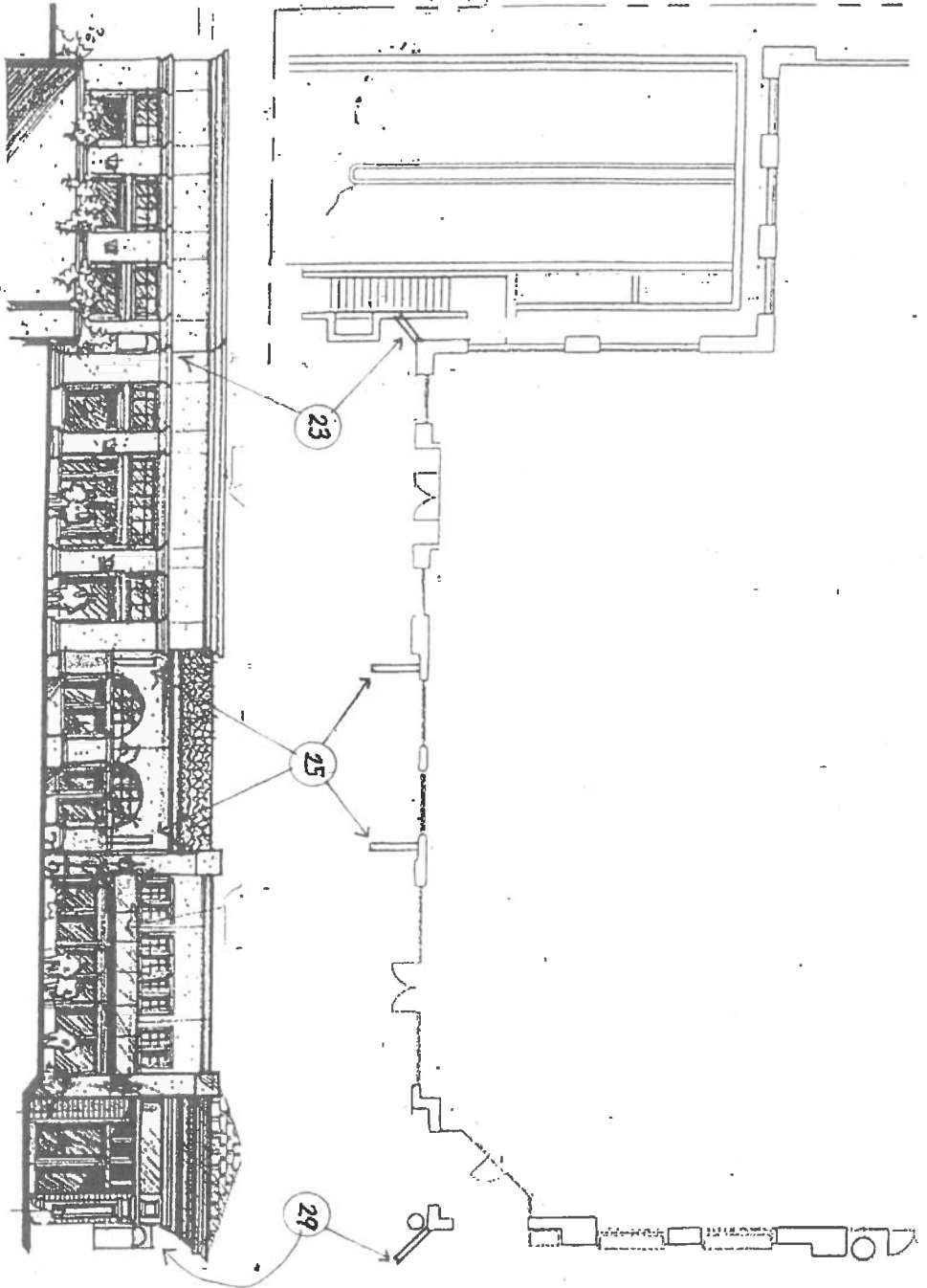
As stated in the Old Town Signage Criteria the Landlord will supply each tenant with one metal bracket and crown. Tenant is responsible for installation, interior sign panels, and any brackets in addition to the initial bracket supplied by Landlord.

Building	Suite #	Sign Type	Location(s)
A	180 (The Wine Cellar)	2-sided blade(crown w/ 180)	on tower / pointing South
	280 (Borders Cafe)	2-sided blade(crown w/ 280)	on tower / pointing West
	260 (California Cafe)	2-sided blade(crown w/ 260)	far North end
	O.T. Directory	1-sided blade (crown w/ DIRECTORY)	wall / left of door
	O.T. Directory	1-sided blade(crown w/ UPPER LEVEL)	wall / upper level atrium
	O.T. Directory	1-sided blade(crown w/ LOWER LEVEL)	wall / lower level atrium
B	O.T. Logo	routed Sintra or wood( <i>large O.T. logo</i> )	stairwell wall
	250 (Oakville Grocery)	2-sided blade(crown w/ 250)	between windows
	240 (The Indian Store)	2-sided blade(crown w/ 240)	hanging off north beam
	144 (Nails Paris)	2-sided blade (crown w/ 144)	( <i>undetermined</i> )
	142	2-sided blade (crown w/ 142)	( <i>undetermined</i> )
	Directory	2-sided blade (crown w/ people)	pointing North
C	136	2-sided blade (crown w/ 136)	pointing North
	200 (Chico's)	2-sided blade (crown w/ 200 ?)	pointing North
	210 (Papyrus)	2-sided blade (crown w/ 210 ?)	pointing North
D	220	2-sided blade (crown w/ 220 ?)	pointing North
	Street Address		
	23 (Sur La Tab)	2-sided blade (crown w/ 23)	corner / pointing South-East
E	25 (Banana Republic/Men)	2-sided blade (crown w/ 25)	wall / pointing East
	25 (Banana Republic/Women)	2-sided blade (crown w/ 25)	wall / pointing East
	29	2-sided blade (crown w/ 29)	corner / pointing North-East
	31 (Steamer's Grillhouse)	2-sided blade (crown w/ 31)	corner pointing South-East
			wall / pointing East
			wall / pointing South
			wall / pointing East
	35 (Gap Kids)	2-sided blade (crown w/ 35)	wall / pointing East
	39 (Gap)	2-sided blade (crown w/ 39)	wall / pointing North



BUILDING D NORTH ELEVATION

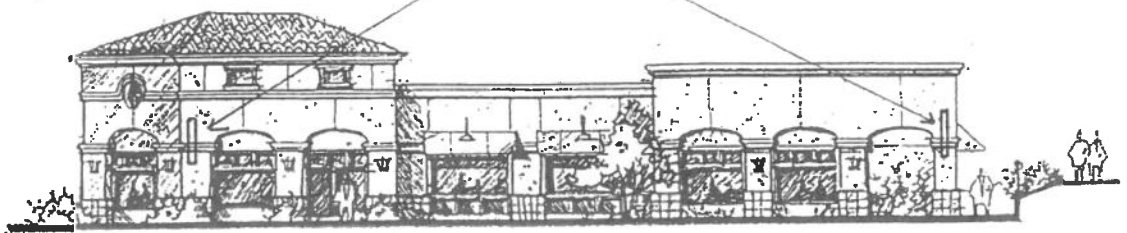
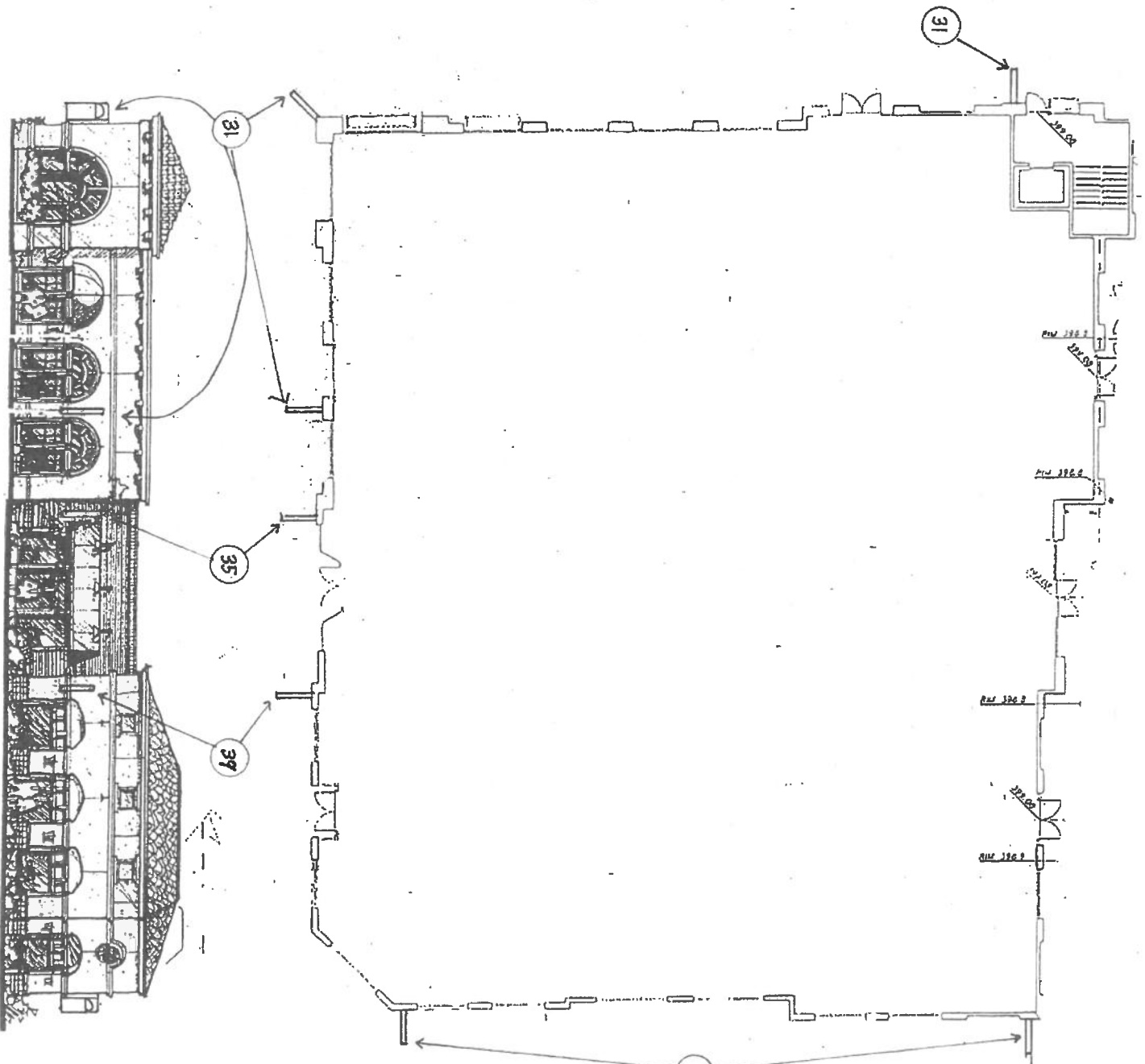
THARP DID IT<sup>®</sup>  
3.12.99



BUILDING E UNIVERSITY AVENUE ELEVATION

THARP DID IT<sup>®</sup>  
3-12-99

BUILDING E UNIVERSITY AVENUE ELEVATION



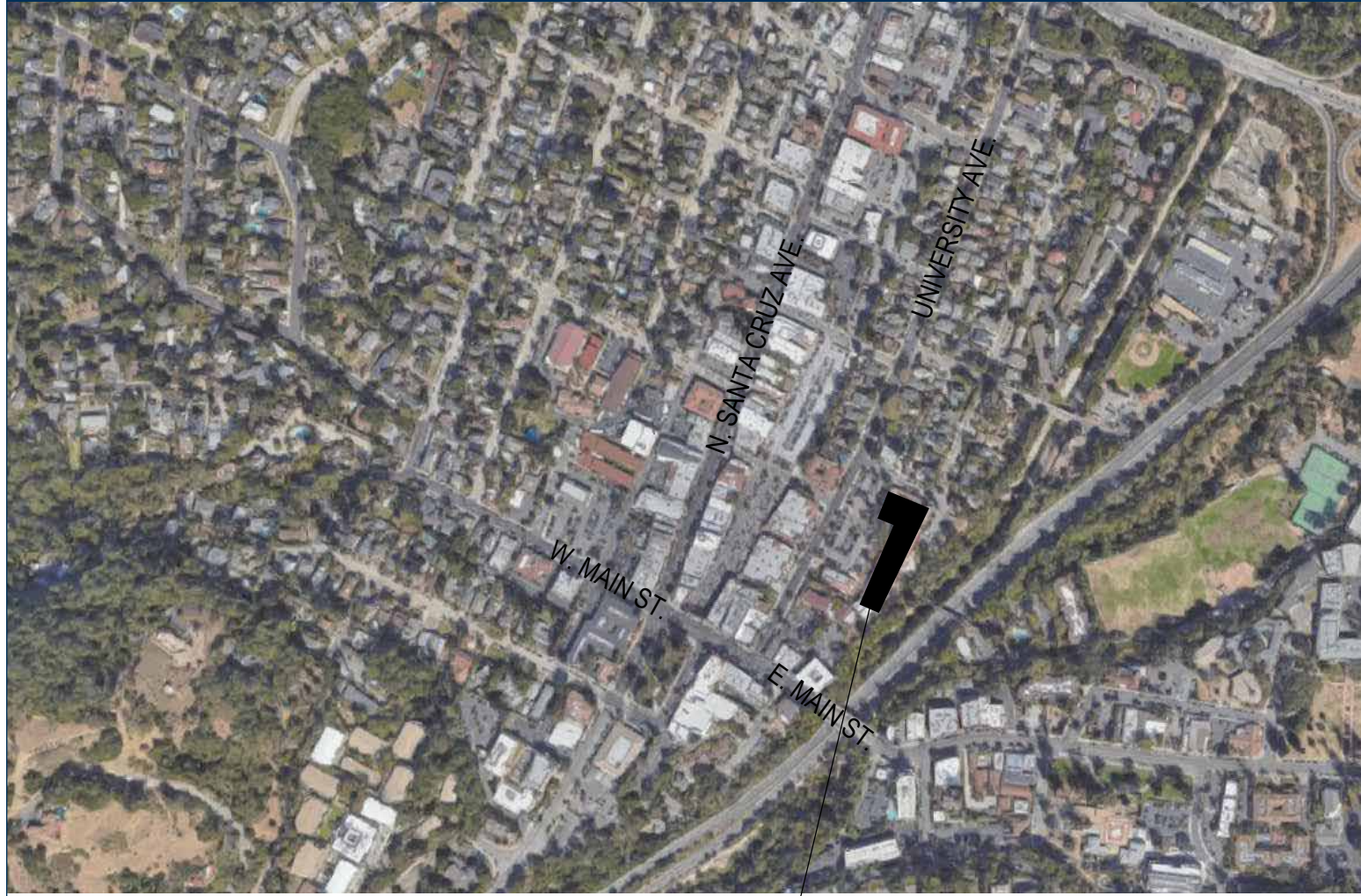
BUILDING E ELM STREET ELEVATION

THARP DID IT  
3-12-99



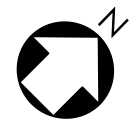
# SEPHORA

## VICINITY PLAN



SEPHORA

## KEY PLAN



SEPHORA

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WWW.JONESSIGN.COM

JOB #: 243023\_R7 VARIANCE  
DATE: 05.30.2019  
DESIGNER: J Sotka  
SALES REP: ---  
PROJ MGR: L Crass

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9	00.00.00	XX	XXXX
10	00.00.00	XX	XXXX

CLIENT APPROVAL	DATE
LANDLORD APPROVAL	DATE
QC	

**SEPHORA**

LOS GATOS PALMS  
OLD TOWN CENTER  
50 UNIVERSITY AVE., #B260  
LOS GATOS, CA 95032  
DESIGN PHASE: CONCEPTUAL

SHEET NUMBER  
**0.0**



**CONCEPTUAL RENDERING**

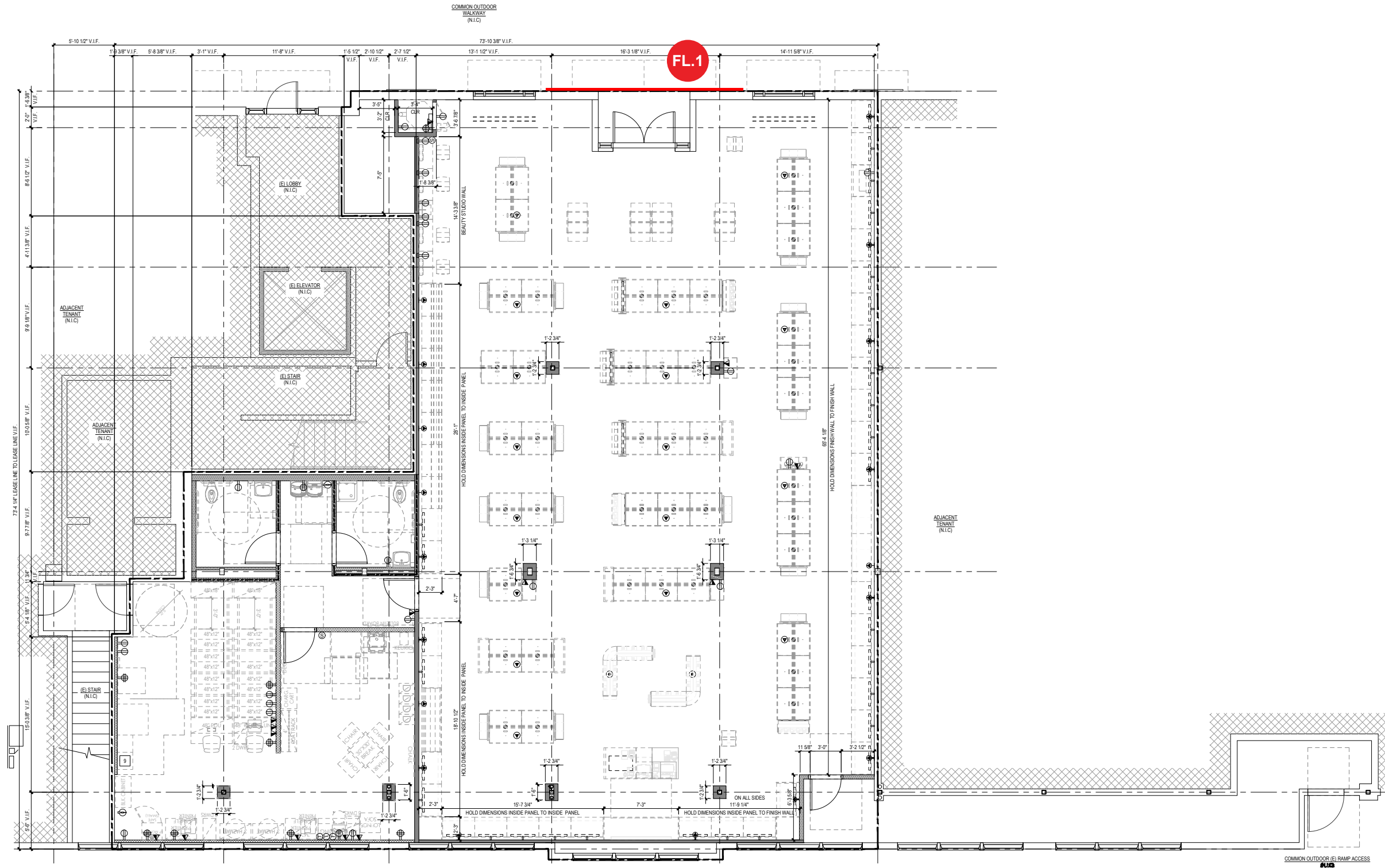


CONCEPTUAL RENDERING  
SCALE: NTS

<p><b>JONES SIGN</b> Your Vision. Accomplished. WWW.JONESSIGN.COM</p>	<p>JOB #: <b>243023_R7</b> VARIANCE</p> <p>DATE: 05.30.2019</p> <p>DESIGNER: J Sotka</p> <p>SALES REP: ---</p> <p>PROJ MGR: L Crass</p>	<table border="1"> <thead> <tr> <th>REV.</th> <th>DATE</th> <th>BY</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr><td>1</td><td>09.12.19</td><td>TS</td><td>CREATE PERMIT DRAWING &amp; VARIANCE DRAWING</td></tr> <tr><td>2</td><td>11.07.19</td><td>JS</td><td>UPDATED ARCHS - FLOOR PLANS/ELEVATIONS / ADD VI.1 &amp; VI.3</td></tr> <tr><td>3</td><td>12.09.19</td><td>JS</td><td>ADD ELEVATION SECTION / ADD VI.4 BEAUTY STUDIO GRAPHIC</td></tr> <tr><td>4</td><td>01.23.20</td><td>JS</td><td>ADD AWNING COPY DIMS AND SQ FT</td></tr> <tr><td>5</td><td>02.04.20</td><td>JS</td><td>ADD AWNING SPECS PG</td></tr> <tr><td>6</td><td>02.11.20</td><td>JS</td><td>CLEAN UP ELEVS / REMOVE PG 1.3 / UPDATE SQ FT FOR AWNING</td></tr> <tr><td>7</td><td>02.13.20</td><td>JS</td><td>UPDATE NOTES PER SUB</td></tr> <tr><td>8</td><td>00.00.00</td><td>XX</td><td>XXXX</td></tr> <tr><td>9</td><td>00.00.00</td><td>XX</td><td>XXXX</td></tr> <tr><td>10</td><td>00.00.00</td><td>XX</td><td>XXXX</td></tr> </tbody> </table>	REV.	DATE	BY	DESCRIPTION	1	09.12.19	TS	CREATE PERMIT DRAWING & VARIANCE DRAWING	2	11.07.19	JS	UPDATED ARCHS - FLOOR PLANS/ELEVATIONS / ADD VI.1 & VI.3	3	12.09.19	JS	ADD ELEVATION SECTION / ADD VI.4 BEAUTY STUDIO GRAPHIC	4	01.23.20	JS	ADD AWNING COPY DIMS AND SQ FT	5	02.04.20	JS	ADD AWNING SPECS PG	6	02.11.20	JS	CLEAN UP ELEVS / REMOVE PG 1.3 / UPDATE SQ FT FOR AWNING	7	02.13.20	JS	UPDATE NOTES PER SUB	8	00.00.00	XX	XXXX	9	00.00.00	XX	XXXX	10	00.00.00	XX	XXXX	<p>CLIENT APPROVAL _____ DATE _____</p> <p>LANDLORD APPROVAL _____ DATE _____</p> <p>QC _____</p>	<p><b>SEPHORA</b></p>	<p>LOS GATOS PALMS OLD TOWN CENTER 50 UNIVERSITY AVE., #B260 LOS GATOS, CA 95032</p>	<p>SHEET NUMBER</p> <p><b>1.0</b></p>
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# FLOOR PLAN



FLOOR PLAN  
SCALE: 3/32" = 1'

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JOB #: 243023\_R7 VARIANCE  
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SALES REP: ---  
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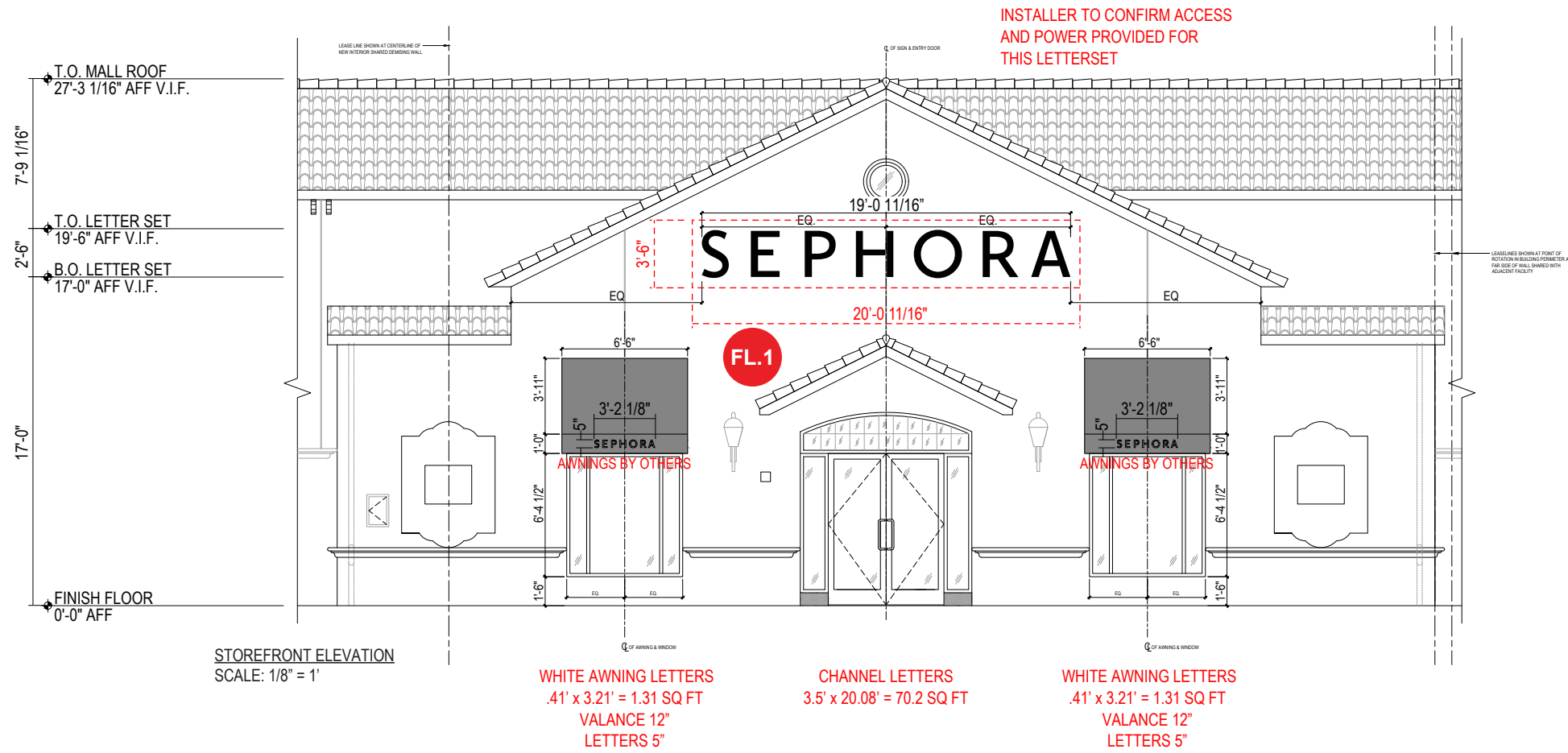
CLIENT APPROVAL	DATE
LANDLORD APPROVAL	DATE
QC	

**SEPHORA**

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DESIGN PHASE: CONCEPTUAL

SHEET NUMBER  
**1.1**

# STOREFRONT ELEVATION



STOREFRONT ELEVATION  
SCALE: 1/8" = 1'

PARTIAL PLAN VIEW  
SCALE: 1/8" = 1'

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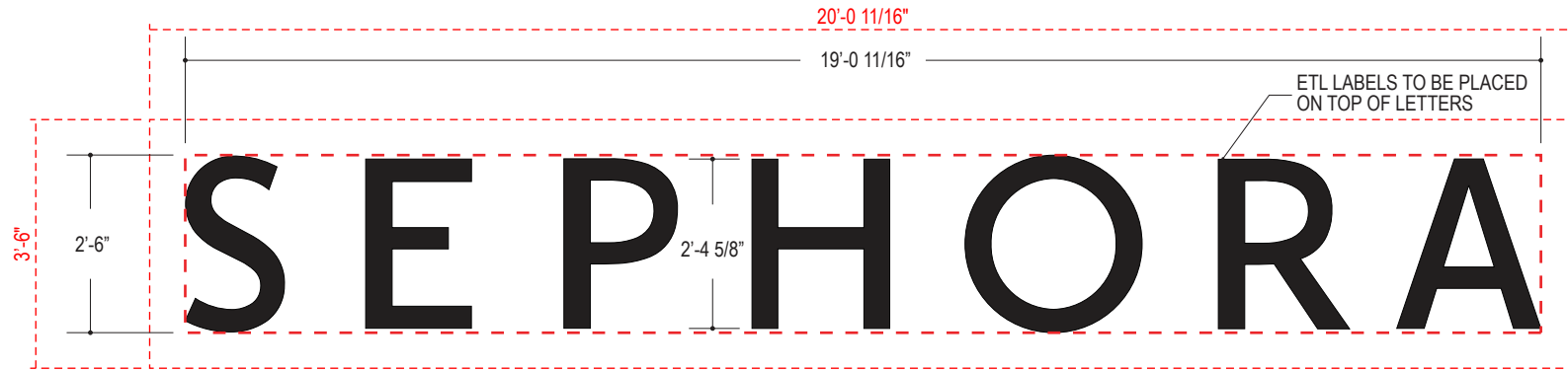
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**1.2**



# FL.1 BACK-LIT LETTERS - EXTERIOR (Qty 1)

3.5' x 20.08' = 70.2 SQ FT CHANNEL LETTERS



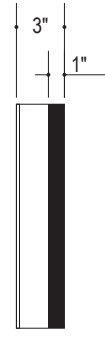
FRONT VIEW  
SCALE: 3/8"=1'-0"



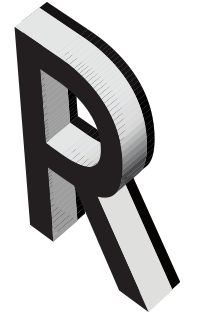
FRONT VIEW  
SCALE: Not to Scale



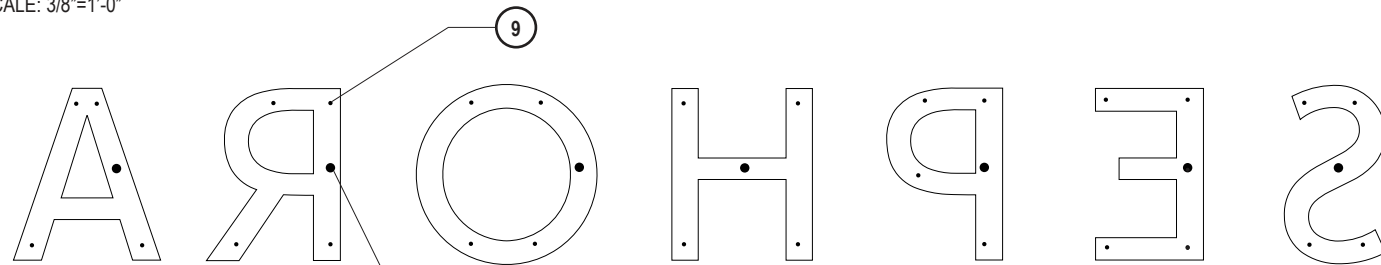
BACK VIEW  
SCALE: Not to Scale



SIDE VIEW  
SCALE: Not to Scale



ISOMETRIC VIEW  
SCALE: Not to Scale



BACK VIEW  
SCALE: 3/8"=1'-0"

### SPECIFICATIONS

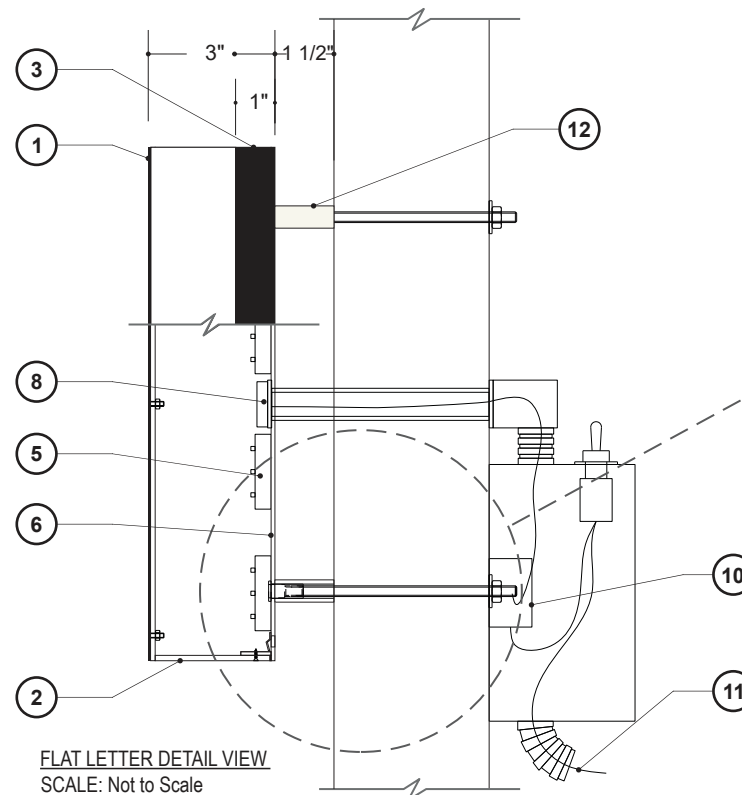
- 1/8" FLAT CUT ALUMINUM OUTER FACE MOUNTED TO ACRYLIC SUB-FACE w/ THREADED STUDS AS WELL AS ADHERED w/ ADHESIVE, PAINTED P-1, P-2 / ACRYLIC SUB-FACE IS .118" THICK EVONIK WRT31 w/ SECOND SURFACE V-2 / CHEMICALLY BONDED TO RETURNS
- .118" EVONIK WRT31 WHITE ACRYLIC RETURNS ATTACHED TO BACKS w/ COUNTERSUNK SCREWS INTO .080" ALUMINUM STRIP
- VINYL BORDER APPLIED TO REAR OF RETURNS V-1
- CONTINUOUS .080" THK X 3/4" WIDE ALUMINUM STRIP WELDED TO LETTER BACKS, ACRYLIC RETURNS SLEEVE AROUND THE OUTSIDE
- BITRO BANTAM PLUS 4000K WHITE LEDs
- .080" ALUMINUM BACK, INSIDE PAINTED P-3, OUTSIDE PAINTED P-1
- RUBATEX GASKET
- POWER OUT (1 PER LETTER)
- 1/4" THREADED ROD / THRU-BOLT ATTACHMENT / ACCESS (4 PER LETTER)
- LED POWER SUPPLY INSIDE VENTED TRANSFORMER BOX w/ TOGGLE SWITCH (REMOTE)
- STANDARD 12' WHIP LENGTH UNLESS STATED OTHERWISE
- 1/2" OD x 1 1/2" PVC SPACERS PAINTED P-4
- EXISTING FACADE
- 1/4" DRAIN HOLE w/ LIGHT Baffle LOCATED IN BACK OF LETTERS

### NOTES

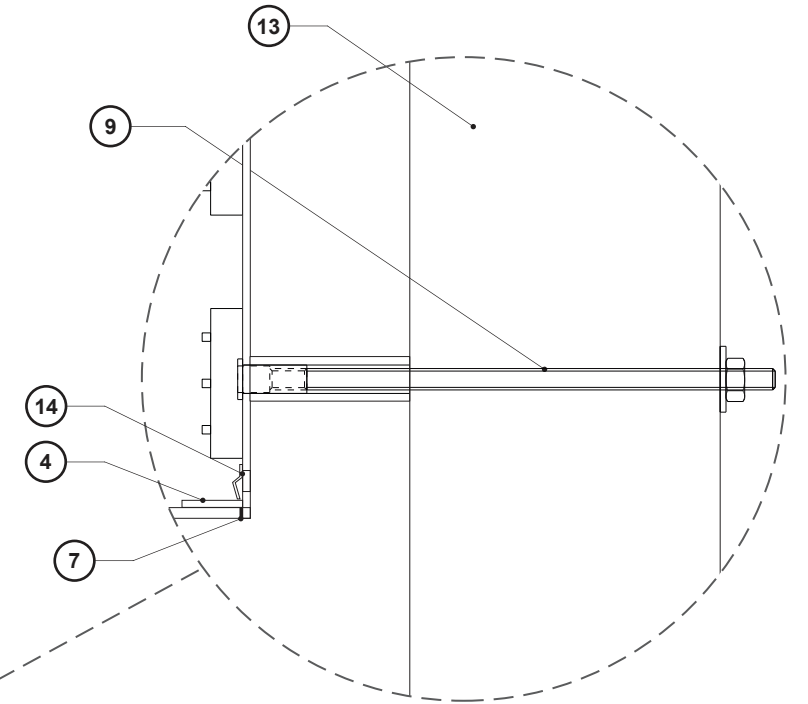
- FACES DO NOT LIGHT
- THRU BOLTING CAN ONLY BE USED WHEN THERE IS ACCESS BEHIND WALL
- ALL PENETRATIONS, FASTENERS, WIRING TO BE CONCEALED, CAULKED AND WEATHER-TIGHT
- TIME CLOCK REQUIRED

### COLORS/FINISHES

- P-1 MATTHEWS BLACK - SOA929SP
- P-2 GLOSS CLEAR TOP COAT - 42-208SP
- P-3 MATTHEWS WHITE
- P-4 MP TO MATCH BM #2143-70 'SIMPLY WHITE' (WALL COLOR)
- V-1 GLOSS BLACK - 3M 7725-12
- V-2 WHITE LIGHT ENHANCEMENT - 3635-100



FLAT LETTER DETAIL VIEW  
SCALE: Not to Scale



MOUNTING DETAIL  
SCALE: Not to Scale



NIGHT VIEW  
SCALE: Not to Scale

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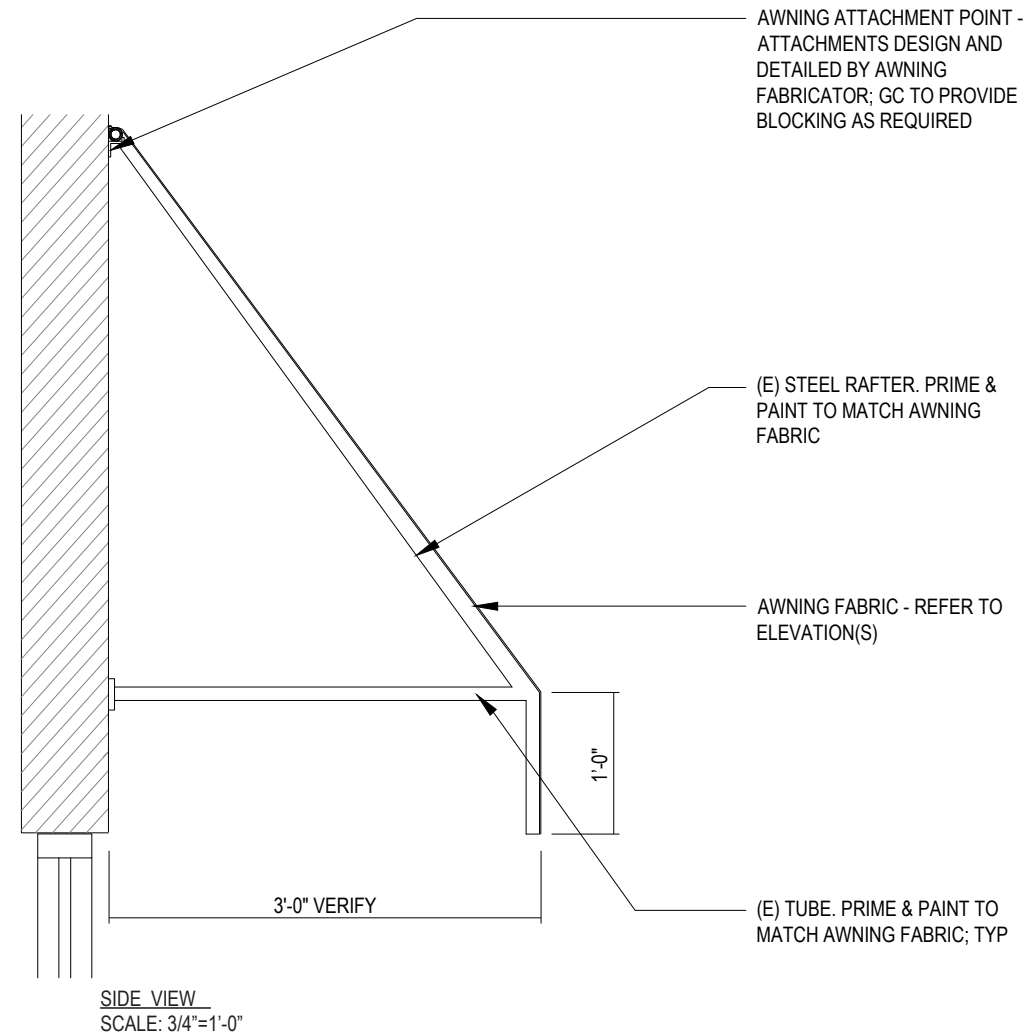
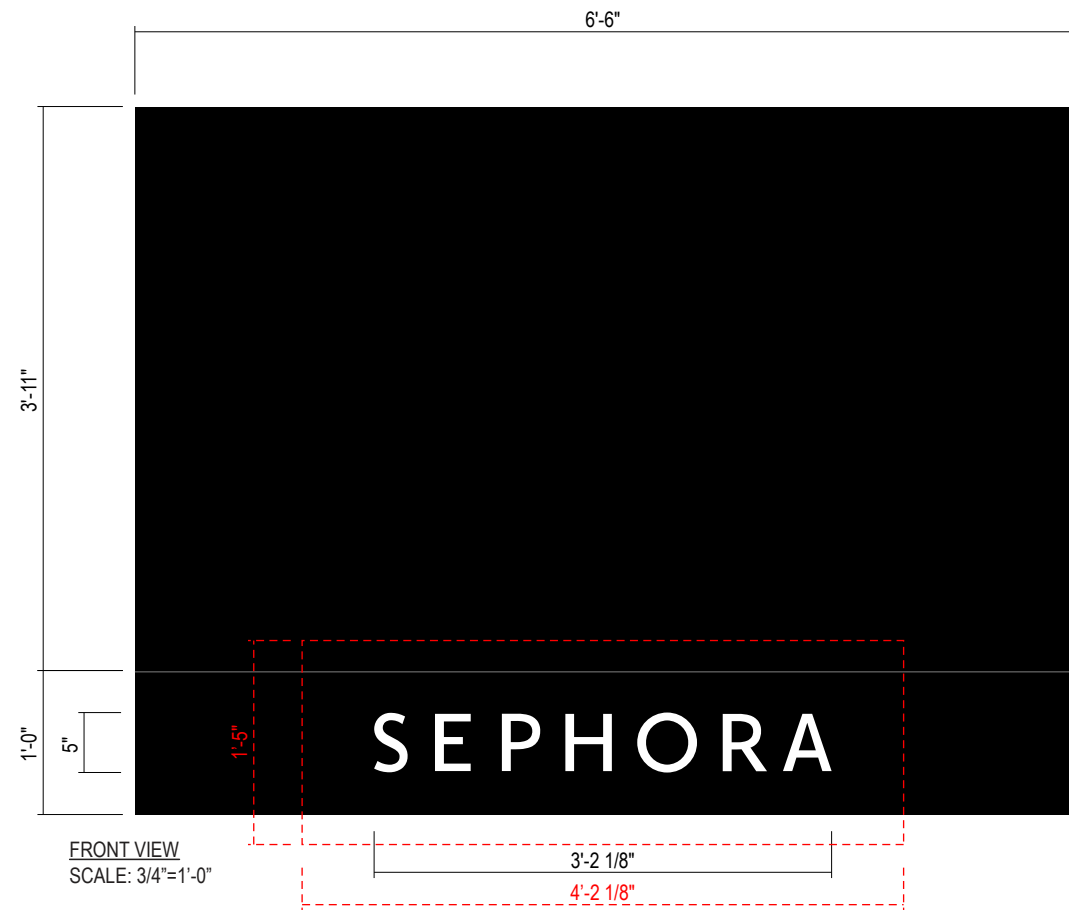
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# AW.1 AWNINGS PROVIDED BY OTHERS (Qty 2)

.41' x 3.21' = 1.31 SQ FT WHITE AWNING LETTERS  
 VALANCE 12"  
 LETTERS 5"



## SPECIFICATIONS

1. STEEL AWNING STRUCTURE PAINTED P-1
2. FIRESIST #82008-0000 BLACK AWNING FABRIC

## COLORS/FINISHES

**P-1** MATTHEWS BLACK - SOA929SP

## NOTES

- AWNINGS PROVIDED BY OTHERS

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**TOWN OF LOS GATOS  
PLANNING COMMISSION  
REPORT**

MEETING DATE: 09/09/2020

ITEM NO: 4

DESK ITEM

---

DATE: September 9, 2020  
TO: Planning Commission  
FROM: Joel Paulson, Community Development Director  
SUBJECT: Consider a Request for Approval for a Variance from the Town Code to Exceed the Maximum Allowable Sign Area and an Exception from the Commercial Design Guidelines to Exceed the Maximum Letter Height for a Wall Sign (Sephora) on Property Zoned C-2:LHP:PD, Located at 50 University Avenue, Suite B260. APN 529-02-044. Variance Application V-20-001. Property Owner: SRI Old Town LLC. Applicant: Peter Liu.

REMARKS:

Exhibit 10 includes the applicant's wall sign photo simulations received on Wednesday, September 9, 2020.

EXHIBITS:

Previously received with the September 9, 2020 Staff Report:

1. Location Map
2. Required Findings and Considerations
3. Recommended Conditions of Approval
4. Project Description, received June 26, 2020
5. Letter of Justification, received June 26, 2020
6. Site Photographs, received March 11, 2020
7. Neighborhood Outreach, received June 26, 2020
8. Old Town Center Master Sign Program
9. Development Plans, received July 23, 2020

Received with this Desk Item Report:

10. Applicant Photo Simulations, received September 9, 2020

PREPARED BY: ERIN WALTERS  
Associate Planner

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Reviewed by: Planning Manager and Community Development Director

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CONCEPTUAL RENDERING 12"



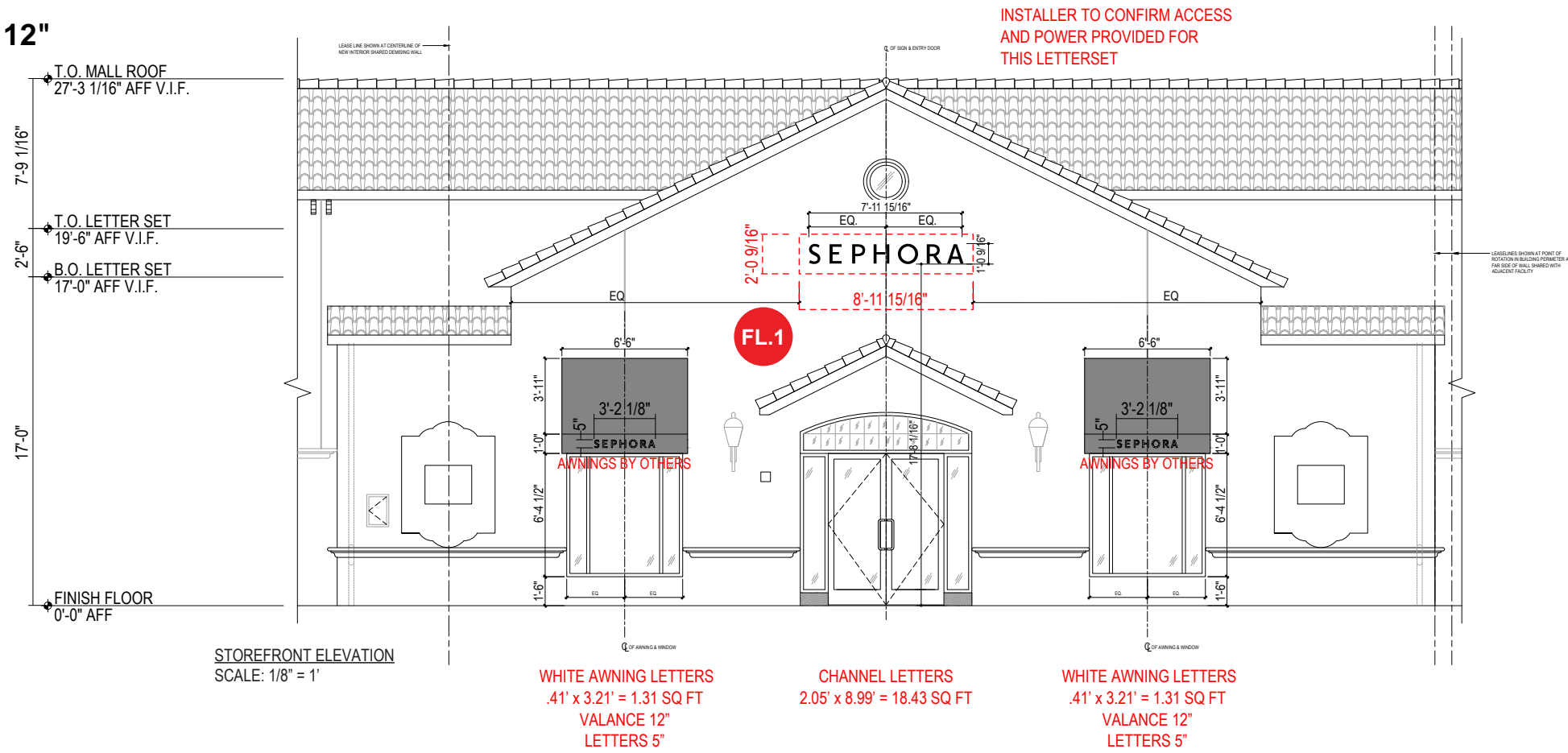
CONCEPTUAL RENDERING  
SCALE: NTS

EXHIBIT 10

<b>JONES SIGN</b> Your Vision. Accomplished. WWW.JONESSIGN.COM	JOB #: 243023_R4PERMIT DATE: 05.30.2019 DESIGNER: J Sotka SALES REP: --- PROJ MGR: L Crass	<table border="1"> <thead> <tr> <th>REV.</th> <th>DATE</th> <th>BY</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr><td>1</td><td>09.12.19</td><td>TS</td><td>CREATE PERMIT DRAWING &amp; VARIANCE DRAWING</td></tr> <tr><td>2</td><td>12.09.19</td><td>JS</td><td>ADD ELEVATION SECTION / ADD VL4 BEAUTY STUDIO GRAPHIC</td></tr> <tr><td>3</td><td>02.24.20</td><td>JS</td><td>UPDATE PERMIT PCKG WITH SQ FT INFO &amp; AWNING INFO</td></tr> <tr><td>4</td><td>08.25.20</td><td>JS</td><td>ADD FL1 SIZE OPTIONS</td></tr> <tr><td>5</td><td>00.00.00</td><td>XX</td><td>XXXX</td></tr> <tr><td>6</td><td>00.00.00</td><td>XX</td><td>XXXX</td></tr> <tr><td>7</td><td>00.00.00</td><td>XX</td><td>XXXX</td></tr> <tr><td>8</td><td>00.00.00</td><td>XX</td><td>XXXX</td></tr> <tr><td>9</td><td>00.00.00</td><td>XX</td><td>XXXX</td></tr> <tr><td>10</td><td>00.00.00</td><td>XX</td><td>XXXX</td></tr> </tbody> </table>	REV.	DATE	BY	DESCRIPTION	1	09.12.19	TS	CREATE PERMIT DRAWING & VARIANCE DRAWING	2	12.09.19	JS	ADD ELEVATION SECTION / ADD VL4 BEAUTY STUDIO GRAPHIC	3	02.24.20	JS	UPDATE PERMIT PCKG WITH SQ FT INFO & AWNING INFO	4	08.25.20	JS	ADD FL1 SIZE OPTIONS	5	00.00.00	XX	XXXX	6	00.00.00	XX	XXXX	7	00.00.00	XX	XXXX	8	00.00.00	XX	XXXX	9	00.00.00	XX	XXXX	10	00.00.00	XX	XXXX	CLIENT APPROVAL _____ DATE _____ LANDLORD APPROVAL _____ DATE _____ QC _____	<b>SEPHORA</b>	LOS GATOS PALMS OLD TOWN CENTER 50 UNIVERSITY AVE., #B260 LOS GATOS, CA 95032	SHEET NUMBER <h1>1.0</h1>
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# STOREFRONT ELEVATION 12"



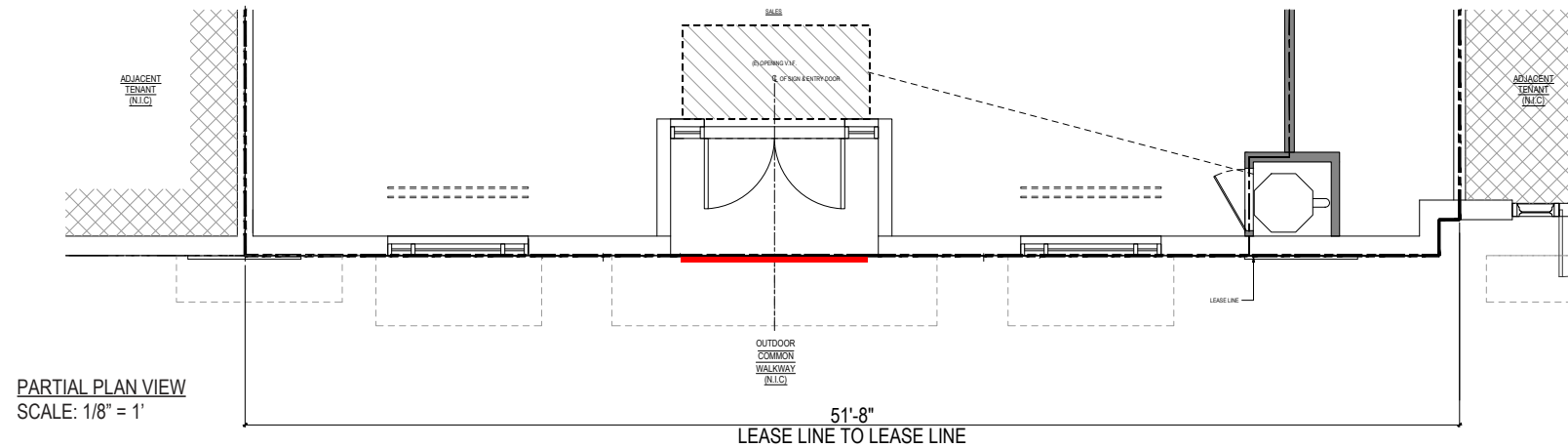
STOREFRONT ELEVATION  
SCALE: 1/8" = 1'

WHITE AWNING LETTERS  
.41' x 3.21' = 1.31 SQ FT  
VALANCE 12"  
LETTERS 5"

CHANNEL LETTERS  
2.05' x 8.99' = 18.43 SQ FT

WHITE AWNING LETTERS  
.41' x 3.21' = 1.31 SQ FT  
VALANCE 12"  
LETTERS 5"

18.43 SQ FT CHANNEL LETTERS + 2.62 SQ FT AWNING LETTERS = 21.05 SQ FT SIGNS  
51'-8" LEASE LINE TO LEASE LINE



PARTIAL PLAN VIEW  
SCALE: 1/8" = 1'

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JOB #: 243023\_R4PERMIT  
DATE: 05.30.2019  
DESIGNER: J Sotka  
SALES REP: ---  
PROJ MGR: L Crass

REV.	DATE	BY	DESCRIPTION
1	09.12.19	TS	CREATE PERMIT DRAWING & VARIANCE DRAWING
2	12.09.19	JS	ADD ELEVATION SECTION / ADD V.I.4 BEAUTY STUDIO GRAPHIC
3	02.24.20	JS	UPDATE PERMIT PCKG WITH SQ FT INFO & AWNING INFO
4	08.25.20	JS	ADD FL.1 SIZE OPTIONS
5	00.00.00	XX	XXXX
6	00.00.00	XX	XXXX
7	00.00.00	XX	XXXX
8	00.00.00	XX	XXXX
9	00.00.00	XX	XXXX
10	00.00.00	XX	XXXX

CLIENT APPROVAL	DATE
LANDLORD APPROVAL	DATE
QC	

**SEPHORA**

LOS GATOS PALMS  
OLD TOWN CENTER  
50 UNIVERSITY AVE., #B260  
LOS GATOS, CA 95032  
DESIGN PHASE: CONCEPTUAL

SHEET NUMBER  
**1.2**



**STOREFRONT RENDERING OPTION - 12"**



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JOB #: **243023\_RENDERINGS**  
 DATE: 05.30.2019  
 DESIGNER: J Sotka  
 SALES REP: ---  
 PROJ MGR: L Crass

REV.	DATE	BY	DESCRIPTION
1	00.00.00	XX	XXXX
2	00.00.00	XX	XXXX
3	00.00.00	XX	XXXX
4	00.00.00	XX	XXXX
5	00.00.00	XX	XXXX
6	00.00.00	XX	XXXX
7	00.00.00	XX	XXXX
8	00.00.00	XX	XXXX
9	00.00.00	XX	XXXX
10	00.00.00	XX	XXXX

CLIENT APPROVAL	DATE
LANDLORD APPROVAL	DATE
QC	

**SEPHORA**

LOS GATOS PALMS  
 OLD TOWN CENTER  
 50 UNIVERSITY AVE., #B260  
 LOS GATOS, CA 95032  
 DESIGN PHASE: CONCEPTUAL

SHEET NUMBER  
**2.0**



**STOREFRONT RENDERING OPTION - 30"**



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JOB #: **243023\_RENDERINGS**  
 DATE: 05.30.2019  
 DESIGNER: J Sotka  
 SALES REP: ---  
 PROJ MGR: L Crass

REV.	DATE	BY	DESCRIPTION
1	00.00.00	XX	XXXX
2	00.00.00	XX	XXXX
3	00.00.00	XX	XXXX
4	00.00.00	XX	XXXX
5	00.00.00	XX	XXXX
6	00.00.00	XX	XXXX
7	00.00.00	XX	XXXX
8	00.00.00	XX	XXXX
9	00.00.00	XX	XXXX
10	00.00.00	XX	XXXX

CLIENT APPROVAL	DATE
LANDLORD APPROVAL	DATE
QC	

**SEPHORA**

LOS GATOS PALMS  
 OLD TOWN CENTER  
 50 UNIVERSITY AVE., #B260  
 LOS GATOS, CA 95032  
 DESIGN PHASE: CONCEPTUAL

SHEET NUMBER  
**4.0**